



BOARD OF TRUSTEES
Regular Meeting
June 26, 2019
7:00 p.m.

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. PRESENTATIONS
6. PUBLIC HEARINGS
7. PUBLIC COMMENT: Restricted to three minutes regarding items on this agenda *Note: This is an opportunity for comments only, questions to the Board will not be answered at this time. For specific answers to questions, please call Township Hall (989-772-4600)*
8. REPORTS/BOARD COMMENTS
 - A. Current List of Boards and Commissions – Appointments as needed
 - B. Planning Commission and ZBA updates by Township Planner
 - C. May Monthly Activity Report Board of Trustees (Under separate cover)
 - D. Board Member Reports
9. CONSENT AGENDA
 - A. Communications
 1. PC 5/21/19 approved minutes
 2. ZBA 5/1/19 approved minutes
 - B. Minutes – June 12, 2019- regular meeting
 - C. Accounts Payable
 - D. Payroll
 - E. Meeting Pay
 - F. Fire Reports
 - G. (Smith) Approval of the purchase of a 2019 New Holland Compact Utility Tractor and trade-in of a 1999 John Deere 430 tractor
 - H. (Stuhldreher) Approval of a Facilities Use Agreement between the Township and the Mt. Pleasant Pony Colt League/Mt. Pleasant BPA (the “Pony League”) and to allow the Township Manager to execute same on behalf of the Township

10. NEW BUSINESS

- A. Discussion/Action: (Gallinat) TXT 2019-01 Solar Energy Systems Regulations Lone Maple LLC
- B. Discussion/Action: (Gallinat) Approve SBU2019-01 final plat review. Amending Plat of Village of Isabella City located on S. River Rd.
- C. Discussion/Action: (Smith) Approval of the Engineering Proposal with Gourdie Fraser for the replacement of Well #1 with a new well (Well#11) at the Isabella Treatment Plant
- D. Discussion/Action (Smith) Township Board requested to adopt Ordinance Number 2019-04, an Ordinance to amend various provisions of the Charter Township of Union Water Service, Use and Rate Ordinance Number 1987-9, as amended
- E. Discussion/Action (Smith) Township Board requested to adopt Ordinance Number 2019-05, an Ordinance to amend various provisions of the Charter Township of Union Sewer Rate and Mandatory Connection Ordinance Number 1979-4, as amended
- F. Discussion/Action: (Board of Trustees) Review Manager Compliance with Policy Governance Policy 2.5.10 - – Cashflow Adequacy
- G. Discussion/Action: (Board of Trustees) Review Policy Governance 2.7 End Focus of Grant and Contracts
- H. Discussion/Action: (Board of Trustees) Board of Trustees annual review of Board Governance Policy No. 3.5 – Board Commission and Community Linkage
- I. Discussion/Action: (Board of Trustees) Board of Trustees annual review of Board Governance Policy No. 3.6 –Supervisor’s Role in the Board’s Process
- J. Discussion/Action: (Stuhldreher) Appeal of Disciplinary Action

11. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

Note: This is an opportunity for comments only, questions to the Board will not be answered at this time. For specific answers to questions, please call Township Hall (989-772-4600)

12. MANAGER COMMENTS

13. FINAL BOARD MEMBER COMMENT

14. CLOSED SESSION

15. ADJOURNMENT

Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squatrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2022
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Secretary	Jake	Hunter	12/31/2019
4- Vice Secretary	Andy	Theisen	12/31/2019
5	Taylor	Sheahan-Stahl	12/31/2021
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	Liz	Presnell	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2020
2	James	Thering	12/31/2020
3	Bryan	Neyer	12/31/2020
Alt #1	Randy	Golden	1/25/2021
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Don	Long	12/31/2020
2	Mike	Lyon	12/31/2020
3	vacant seat		12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Jakubiec	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2020
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2023
2	James	Zalud	4/14/2023
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2023
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2023
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2019
2 PC Representative	Denise	Webster	8/15/2020
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2020
5 Member at large	Connie	Bills	8/15/2019

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on May 21, 2019 at the Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Buckley, Clerk Cody, Darin, Fuller, Mielke, Shingles, Squattrito, and Webster

Excused: LaBelle

Others Present

Township Planner, Peter Gallinat and Secretary, Jennifer Loveberry

Approval of Minutes

Webster moved **Fuller** supported the approval of the April 16, 2019 regular meeting as amended. **Vote: Ayes: 8 Nays: 0. Motion carried.**

Correspondence / Reports

Approval of Agenda

Webster moved **Buckley** supported approval of the agenda as presented. **Vote: Ayes: 8 Nays 0. Motion carried.**

Public Comment – 7:06 p.m.

No comments were offered.

New Business

**A. TXT 2019-01 Solar Energy Systems Regulations Lone Maple Development, LLC
Property located at 5889 E. Broadway (Recommend text amendment of the Zoning Ordinance to the Board of Trustees)**

Introduction by Township Planner, applicant desires to construct accessory structure solar panels in the rear yard for onsite solar energy consumption

Public Hearing – Open 7:10 p.m.

No comments were offered.

Applicant, Ryan Smith, shared that Lone Maple Development, LLC requests an immediate text amendment to move forward with the project, needing installation by the end of 2019.

Discussion by the Planning Commission

Buckley moved Shingles supported to forward the proposed amendment to the County Planning Commission for review and postpone recommendation until the June 18, 2019 Planning Commission meeting. Vote: Ayes: 7 Nays: 1. Motion carried.

B. SUB 2019-01 Preliminary Plat Review Amended Plat of Village of Isabella City, Four Hack LLC located at River Rd.

Introduction by Township Planner.

Tim Bebee, representative of applicant, stated the parcel was a part of what was known as the Village of Isabella Plat. Certain roads within this plat were recently abandoned in court for this project to move forward.

Buckley moved Webster supported to approve the preliminary plat per court order as defined on plat and forward to the Township Board of Trustees for a preliminary review and approval. Vote: Ayes: 8 Nays: 0 Motion carried.

*Recusal by Fuller, per section VII. Conflict of Interest of the Planning Commissions adopted By-Laws for both Items C & D.

C. SPR 2019-05 Site Plan Review PID 14-020-20-001-05 Commercial Property located at Lincoln Rd./E. Remus Rd (M20) SUP 2019-02 approved by PC 4/16/19 & approved by Board of Trustees 5/8/19 (Review / Final Site Plan approval contingent on outside agencies)

Introduction by Township Planner.

Public Hearing – Open 8:18 p.m.

No comments were offered.

Tim Bebee, CMS&D, representative of the applicant, explained the expansion of the existing approved self-storage operation

Mielke moved Cody supported approval of SPR 2019-05, with the condition that storm water management is obtained and approved. Vote: Ayes: 7 Nays: 0 Motion carried.

D. SUP 2019-03 Mitchell's Deli/ McGuirk Mini Storage filling station Property located at 1982 E. Remus (Recommend special use to the Board of Trustees)

Introduction by Township Planner.

Joseph Quandt, Traverse City Attorney and Tim Beebe, CMS&D represented applicant.

Mr. Quandt stated that the applicant is requesting special use for a filling station for the sale of gasoline.

Mr. Bebee provided plans of the proposed site.

Applicants Dean and Jamie Mitchell addressed the Planning Commission stating their desire to construct a new building for the operation of the deli and filling station.

The Planning Commission reviewed section 30.3 (1-10) of the zoning ordinance and 30.4.I Special Uses Permitted – Filling Stations for the Sale of Gasoline, Oil, Minor Accessories, and other Incidental Services (1-6), as well as, referencing section 30.4.B.2 (a-d) Driveways and parking areas as specified).

Shingles moved **Cody** supported to recommend approval of SUP 2019-02 to the Board of Trustees. **Vote: Ayes: 7 Nays: 0 Motion carried.**

Other Business

Chair Squattrito suggested emailing the Commissioners of the June 4th Special Meeting request to meet with the consultant for part 2 of the zoning ordinance rewrite to confirm availability.

Extended Public Comment

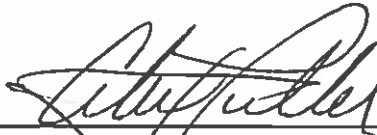
No comments were offered.
No written correspondence received.

Final Board Comment

No comments were offered.

Adjournment – Chairman Squattrito adjourned the meeting at 9:06 p.m.

APPROVED BY:



Alex Fuller - Secretary
Mike Darin – Vice Secretary

(Recorded by Jennifer Loveberry)

CHARTER TOWNSHIP OF UNION
Zoning Board of Appeals
Regular Meeting

A regular meeting of the Charter Township of Zoning Board of Appeals was held on May 1, 2019 at 7:00 p.m. at Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Bryan Mielke, Taylor Sheahan-Stahl, Andy Theisen, and Tim Warner

Excused: Jake Hunter

Others Present

Peter Gallinat, Jennifer Loveberry, and alternate John Zerbe

Chair Warner called John Zerbe to the table in the absence of Jake Hunter

Approval of Minutes

Theisen moved Mielke supported the approval of the April 3, 2019 minutes as amended. Vote: Ayes: 5 Nays 0. Motion carried.

Correspondence / Board Reports

Updates by Township Planner

Approval of Agenda

Mielke moved Sheahan-Stahl supported to approve the agenda as amended, removing Item A VAR 2019-04 as the application was withdrawn by the applicant. Vote: Ayes: 5 Nays 0. Motion carried.

Public Comment: Restricted to (3) minutes regarding issues not on this Agenda

Open – 7:04 p.m.

No comments were offered.

New Business

Other Business

Extended Public Comment

Open 7:05 p.m.


No comments were offered.

Final Board Comment

Adjournment

Chair Warner adjourned the meeting at 7:05 p.m.

APPROVED BY:



Jake Hunter – Secretary
Andy Theisen – Vice Secretary

(Recorded by Jennifer Loveberry)

2019 CHARTER TOWNSHIP OF UNION
Board of Trustees
Regular Meeting

A regular meeting of the Charter Township of Union Board of Trustees was held on June 12, 2019 at 7:00 p.m. at Union Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Supervisor Gunning, Treasurer Rice, Clerk Cody, Trustees B. Hauck, Trustee Lannen, Trustee Mikus, and Trustee Woerle

Approval of Agenda

Hauck moved **Cody** supported to approve the Agenda as presented. **Vote: Ayes: 7 Nays: 0. Motion carried.**

Presentations

Public Hearings

Public Comment - open 7:01 p.m.

Bill Whitehead – Commented on lease / buy options

Reports/Board Comments

- **Current List of Boards & Commissions**

Gunning nominated to reappoint Cheryl Hunter to the EDA. **Woerle** moved **Hauck** supported to reappoint Cheryl Hunter to the EDA with a term expiring 6/22/2023. **Vote: Ayes: 7 Nays: 0. Motion carried.**

- **Board Member Reports**

Cody – City of Mt. Pleasant Updates

Rice – Reported that Summer Taxes will be mailed out by July 1, 2019

Hauck – Road Commission Updates

Lannen – Isabella County Board of Commissioners Updates

Mikus – Sidewalk Pathway Prioritization Committee Updates

Woerle –Reported on Saginaw Chippewa Indian Tribe

Consent Agenda

- A. Communications
- B. Minutes – May 22, 2019- regular meeting
- C. Accounts Payable
- D. Payroll
- E. Meeting Pay
- F. Fire Reports

Mikus moved **Cody** supported to approve the consent agenda as presented. **Vote: Ayes: 7 Nays: 0. Motion carried.**

BOARD AGENDA

A. Discussion/Action: (Gallinat) Approve SUB 2019-01 Preliminary Plat Review. Amending Plat of Village of Isabella City located at S. River Rd.

Mikus moved Cody supported to approve SUB 2019-01 Preliminary Plat Review amending Plat of Village of Isabella City located at S. River Rd. **Roll Vote: Ayes: 7 Nays: 0. Motion Carried.**

B. Discussion/Action: (Gallinat) Consider adoption of SUP 2019-03 located 1982 S. Lincoln Rd. a filling station

Woerle moved Lannen supported to approve adopting SUP 2019-03, a filling station, located at 1982 S. Lincoln Rd. **Roll Vote: Ayes: Gunning, Rice, Cody, Hauck, Lannen, Woerle Nays: 0. Motion Carried.**

C. Discussion/Action: (Smith) Introduce Ordinance Number 2019-04, an Ordinance to amend various provisions of the Charter Township of Union Water Service, Use and Rate Ordinance Number 1987-9, as amended

Cody moved Mikus supported to approve the introduction of Ordinance Number 2019-04, an Ordinance to amend various provisions of the Charter Township of Union Water Service, Use and Rate Ordinance Number 1987-9, as amended. **Roll Vote: Ayes: Rice, Cody, Lannen, Mikus, and Woerle Nays: Gunning and Hauck. Motion Carried.**

D. Discussion/Action: (Smith) Introduce Ordinance Number 2019-05, an Ordinance to amend various provisions of the Charter Township of Union Sewer Rate and Mandatory Connection Ordinance Number 1979-4, as amended

Mikus moved Woerle supported to approve the introduction of Ordinance Number 2019-05, an Ordinance to amend various provisions of the Charter Township of Union Water Service, Use and Rate Ordinance Number 1979-4, as amended. **Roll Vote: Ayes: Rice, Cody, Lannen, Mikus, and Woerle Nays: Gunning and Hauck. Motion Carried.**

E. Discussion/Action: (Stuhldreher) Consider amending Governance Policy 2.7 to require Board approval of Saginaw Chippewa Indian Tribe 2% grant applications prior to submittal and amending policy 3.4 to ensure formal Board input on what is being applied for under the 2% grant program

Lannen moved Cody supported to approve amending Governance Policy 2.7 to require Board approval of Saginaw Chippewa Indian Tribe 2% grant applications prior to submittal and amending policy 3.4 to ensure formal Board input on what is being applied for under the 2% grant program. **Roll Vote: Ayes: 7 Nays: 0. Motion Carried.**

F. Discussion/Action: (Stuhldreher) Discuss items to be applied for under the October 2019 2% Grant Program

Discussion was held by the Board highlighting possible 2% grant items.

EXTENDED PUBLIC COMMENT - Open 8:39 p.m.

Joe Quandt, 412 S. Union, Traverse City – Commented on Water/Sewer Ordinance

Jim MacLean, President of Union Township Little League – Thanked the Board for placement of the Automated External Defibrillator's (AED's); Commented on email that he had sent out to the Board; and made comments regarding McDonald Park.

Kay Bouck – Commented on thinking about Sports Authority between City of Mt. Pleasant and Union Township.

Bill Whitehead – Commented that public should be involved in 2 % request. Commented on Government

MANAGER COMMENTS

- Automated External Defibrillator’s (AED’s) for 6 Union Township facilities are all installed
- Clean Up Day event was a success, thank you to all who volunteered.
- Made a statement that demeaning comments directed to Township Staff during the public comment section of the Agenda should not be allowed by Board.

FINAL BOARD MEMBER COMMENTS

Gunning – Stated his reasoning behind public comment at tonight’s meeting.

Hauck – Clarified statement that he made regarding Crawford Road and commented on other Township operations.

Rice – Commented on painting in the Parks.

Lannen –The Board of Trustees is a seven-member board operating under Policy Governance, emphasizing the Board’s Authority is only as a group and should be proactive and collaborative. Mentioned upcoming State Tournament for the Little League.

Mikus – Requested a parks maintenance schedule for McDonald Park. Multiple comments were directed to the Chair. Thanked everyone with their involvement during the Township Annual Clean Up Day Event.

Woerle – Directed comments to the Chair regarding toxic emails sent to the Board are offensive, suggested that difference in opinions need to be addressed in a respective and professional manner.

ADJOURNMENT

Mikus moved **Woerle** supported to adjourn the meeting at 9:06 p.m. **Vote: Ayes: 7 Nays: 0. Motion carried.**

APPROVED BY:

Lisa Cody, Clerk

Ben Gunning, Supervisor

(Recorded by Jennifer Loveberry)

Check Date	Bank	Check	Vendor	Vendor Name	Description	Amount
Bank 101 POOLED CHECKING						
06/13/2019	101	270 (E)	01186	COYNE PROPANE LLC	467.88	467.88
06/26/2019	101	21123	01358	21ST CENTURY MEDIA-MICHIGAN	BOT/ZONING ADS	1,262.95
06/26/2019	101	21124	00038	APEX SOFTWARE	APEX SKETCH SOFTWARE ANNUAL MAINTENANCE	705.00
06/26/2019	101	21125	00066	BILL'S CUSTOM FAB, INC.	CLARIFIER #3 SECONDARY TRTMT CLARIFIER #3 SECONDARY TRTMT	102.13 266.58
						<u>368.71</u>
06/26/2019	101	21126	01240	BRAUN KENDRICK FINKBEINER PLC	GEN LEGAL FEES - MAY 2019	1,441.50
06/26/2019	101	21127	00095	C & C ENTERPRISES, INC.	JANITORIAL SUPPLIES - WWTP JANITORIAL SUPPLIES - PARKS	226.25 160.95
						<u>387.20</u>
06/26/2019	101	21128	01309	CGS, INC	OSHA COMPLIANCE TRAINING	1,008.50
06/26/2019	101	21129	00129	CMS INTERNET, LLC	SECURITY CAMERA PURCHASE & INSTALL PC REPLACEMENTS & INSTALL MANAGED IT, EMAIL & PHONE SERVICE - JULY	546.99 4,282.97 4,997.75
						<u>9,827.71</u>
06/26/2019	101	21130	00155	COYNE OIL CORPORATION	FUEL IN TOWNSHIP VEHICLES - MAY 2019	847.99
06/26/2019	101	21131	01242	CULLIGAN WATER	WATER - WWTP MAY 2019	28.00
06/26/2019	101	21132	00176	PATRICIA DEPRIEST	2019 GIS UPDATED MAPS - REIMBURSEMENT	425.00
06/26/2019	101	21133	00209	ETNA SUPPLY COMPANY	YARD HYDRANT REPLACEMENT	219.60
06/26/2019	101	21134	00231	FOUR SEASON'S EXTERMINATING	EXT TWP HALL TREATMENT JUNE 2019	40.00
06/26/2019	101	21135	00248	GILBOE'S LOCK & SAFE SERVICE	LOCK INSTALLATION - WATER TOWER	165.00
06/26/2019	101	21136	00249	GILL-ROY'S HARDWARE	LED BULB & KEY - PARKS LIGHT BULBS/SILICONE CAULK FOR PARKS	23.96 25.77
						<u>49.73</u>
06/26/2019	101	21137	00257	GOURDIE-FRASER, INC.	WATER MAIN LOOP PROJECT-FINAL PMT ENGINE	1,473.75
06/26/2019	101	21138	00261	GRAINGER	BLACK EPOXY ACTIVATOR/FINISH KIT	115.91
06/26/2019	101	21139	00307	IDEXX DISTRIBUTION, INC	COLISURE & VESSELS W/ST AND SB QUANTI-CULT	1,548.52 240.19
						<u>1,788.71</u>
06/26/2019	101	21140	00324	ISABELLA CORPORATION	WATER MAIN LOOP - FINAL PAYMENT	18,350.40
06/26/2019	101	21141	01506	MCKENNA ASSOCIATES	BLDG OFFICIAL & INSP SERV - MAY 2019 ZONING ORDINANCE REVISION - MAY 2019	10,560.00 2,370.00
						<u>12,930.00</u>
06/26/2019	101	21142	01356	MCLAREN CENTRAL MICHIGAN	CONSORTIUM FEE 1ST Q 2019 & DRUG SCREEN	227.50
06/26/2019	101	21143	00407	MICAMP	JOY SMITH MEMBER RENEWAL	125.00
06/26/2019	101	21144	00422	MICHIGAN PIPE & VALVE	#2 POST HYDRANT ECLIPS SCH80 PIPE AND BEND SCH80 SXF ADAPTER	1,255.00 520.00 104.00
						<u>1,879.00</u>
06/26/2019	101	21145	00466	MT. PLEASANT RENTAL CENTER	PORTA JOHN FOR CLEAN UP DAY	81.00
06/26/2019	101	21146	00128	CITY OF MT. PLEASANT	3RD Q 2019 FIRE CONTRACT PAYMENT	182,850.00
06/26/2019	101	21147	01146	MUNICIPAL CONSULTING SERVICES, LLC	SALARY STUDY - PROG PMT #3	5,245.77

06/19/2019 07:26 PM
User: SHERRIE
DB: Union

CHECK REGISTER FOR CHARTER TOWNSHIP OF UNION
CHECK DATE FROM 06/13/2019 - 06/26/2019

Check Date	Bank	Check	Vendor	Vendor Name	Description	Amount
06/26/2019	101	21148	00506	MEEKHOF TIRE SALES & SERVICE INC	2006 F150-INSTALL 2 NEW TIRES 2006 F-150 #14 - TIRE REPAIR	365.00 278.30 <u>643.30</u>
06/26/2019	101	21149	00131	PERCEPTIVE CONTROLS, INC	OPTO 22 MODIFICATIONS REMOTE SUPPORT	189.00
06/26/2019	101	21150	00525	PICKARD STREET CAR WASH	MAY WASHES - 2019	158.00
06/26/2019	101	21151	00544	PUMMILL PROMARK	WATER/SEWER BILLING CARDS	473.10
06/26/2019	101	21152	01595	ROMANOW BUILDING SERVICES	MAY JANITORIAL SERV - TWP HALL MAY JANITORIAL SERV - WWTP MAY JANITORIAL SERV - WATER PLANT	511.58 306.96 204.64 <u>1,023.18</u>
06/26/2019	101	21153	01542	SHRED-IT US JV LLC	PAPER SHREDDING 5-22-19	57.96
06/26/2019	101	21154	00668	UNITED PARCEL SERVICE	LAB SAMPLES SHIPPING LAB SAMPLE SHIPPING	11.74 9.71 <u>21.45</u>
06/26/2019	101	21155	01636	WALKER PROCESS EQUIPMENT	5-MK3-3 SHEAR PIN 2H	83.44
06/26/2019	101	21156	00732	YEO & YEO, PC	2018 AUDIT SERVICES FINAL PAYMENT	3,550.00 <u><u>3,550.00</u></u>
101 TOTALS:						
Total of 35 Checks:						248,511.24
Less 0 Void Checks:						0.00
Total of 35 Disbursements:						<u>248,511.24</u>

Charter Township of Union Payroll
--

CHECK DATE: June 13, 2019

PPE: June 8, 2019

NOTE: PAYROLL TRANSFER NEEDED

General Fund	\$	27,467.26
EDDA		-
WDDA		-
Sewer Fund		32,071.21
Water Fund		22,690.20
Total To Transfer from Pooled Savings	\$	82,228.67

NOTE: CHECK TOTAL FOR TRANSFER

Gross Payroll	\$	57,280.83
Employer Share Med		791.88
Employer Share SS		3,386.09
SUI		208.52
Pension-Employer Portion		3,705.66
Workers' Comp		641.74
Life/LTD		556.37
Dental		1,086.33
Health Care		16,648.17
Vision		337.12
Vision Contribution		(168.56)
Health Care Contribution		(2,245.48)
Cobra/Flex Administration		-
PCORI Fee		-
Total Transfer to Payroll Checking	\$	82,228.67

CHARTER TOWNSHIP OF UNION
MEETING PAY REQUEST FORM
2017

BOARD MEMBER: Bill Hauck

MONTH: May 2019

Date	Meeting	Time Attended		Total
		1hr or less	More than Hr	
5-15	Council of Governance	X		\$ 50.00
5-23	ICRC	X		50.00

SIGNATURE: Bill Hauck Date: 5-23-19

1. This form is filled out by the board member monthly and turned into the Finance Director. Completed requests will be added to the consent agenda for approval at the next regular board meeting. After board approval, payment will be added to the next regular payroll process.
2. Only list those meetings that you have attended. You are required to list the amount of meeting time you were in attendance. The amount paid is subject to the time you spent during the actual meeting. 1 to 60 minutes is reimbursed at \$50. Anything greater than 60 minutes is reimbursed at \$75.
3. Attendances at all day conferences/sessions are reimbursed as one meeting at \$75.

Mount Pleasant Fire Department

**Fire Experience Report For Union Township/City of Mt. Pleasant
Period - June 3, 2019 through June 9, 2019**

Category	Code	Description	Twp	Resp	City
Fire	100	Fire, Other			
	111	Building Fire	1	20	
	112	Fires in Structures other than a Building			
	113	Cooking Fire			
	114	Chimney or Flue Fire			
	116	Fuel Burner/Boiler Malfunction			
	118	Trash or Rubbish fire, contained			
	130	Mobile Property Fire, Other			
	131	Passenger Vehicle Fire			
	132	Road freight or transport vehicle fire			
	136	Self-propelled Motor Home/Recreational			
	137	Camper or Recreational Vehicle (RV) Fire			
	138	Off-road vehicle of heavy equipment fire			
	140	Natural Vegetation Fire			
	143	Grass/Brush fire			
	150	Outside Rubbish Fire, other			
	151	Outside Rubbish Fire, trash or waste fire			
	154	Dumpster Fire			
	160	Special Outside Fire, Other			
	Overpressure Rupture, (No Fire)	200	Overpressure rupture, explosion, overheat		
251		Excessive heat, scorch burns with no fire			
231		Chemical reaction rupture of process vessel			
Rescue & EMS Incident	300	Rescue, EMS incident, other			
	311	Medical Assist to EMS Crew			1
	321	EMS Call excluding Veh. Accident	3	6	1
	322	Motor Vehicle Acc. W/ Injuries			3
	323	Motor Vehicle Acc/Pedestrian			
	324	Motor Vehicle Acc. W/no Injuries			1
	331	Lock-In (If lock out use 551)			
	342	Search for Person in Water			
	352	Extrication of Victim (s) from vehicle	1	4	
	353	Remove Victim from Stalled Elevator			
	360	Water & Ice-related Rescue, Other			
	361	Swimming /recreational water area rescue			
	363	Swift Water Rescue			
3811	Technical rescue standby				
Hazardous Condition (No Fire)	400	Hazard condition other			
	410	Combustible/Flammable Gas Condition			
	411	Gasoline or Other Flammable Spill			
	412	Gas Leak (natural gas or LPG)			
	413	Oil of Combustible Liquid Spill			
	420	Toxic Condition, Other			
	421	Chemical Hazard (No Spill or Leak)			

	422	Chemical Spill or Leak			
	423	Refrigeration Leak			
	424	Carbon Monoxide Incident			
	440	Electric Wiring/Equipment Problem			
	441	Heat from Short Circuit			
	442	Overheated Motor			
	443	Breakdown of Light Ballast			
	444	Power Line Down			
	445	Arcing, shorted electrical equipment			
	451	Biological hazard, confirmed or suspected			
	461	Building or Structure Weakened or Collapsed			
	462	Aircraft Standby			
	463	Vehicle Accident, general cleanup			
	480	Attempted burning, illegal action, other			
	4441	Utility Line Down			2
Service Call					
	500	Service Call - Other			
	510	Person in Distress			
	511	Lock-out			
	512	Ring or Jewelry removal			
	520	Water Problem, Other			
	521	Water Evacuation			
	522	Water of Steam Leak			
	531	Smoke or Odor Removal			
	542	Animal Rescue			
	552	Police Matter			
	553	Public Service			
	555	Defective Elevator, No Occupants			
	561	Unauthorized Burning			
	571	Cover assignment, standby, moveup			
Good Intent Call					
	600	Good Intent Call, Other			
	611	Dispatched and Cancelled en route			
	622	No Incident Found on Arrival			
	631	Authorized controlled burning			
	650	Steam, gas mistaken for smoke,			
	651	Smoke Scare, Odor of Smoke			
	653	Smoke from Barbecue, Tar Kettle			
	661	EMS call, party already transported			
	671	HazMat Investigation, no HazMat			
False Alarm & False Call					
	700	False Alarm, Other			
	710	Malicious, mischievous false call, other			
	715	Local Alarm System, Malicious False Alarm			
	721	Bomb Scare - No Bomb			
	730	System Malfunction			
	731	Sprinkler activation due to malfunction			
	732	Extinguishing System Activation - Malfunction			
	733	Smoke Det. Activation - Malfunction			1
	734	Heat Detector Activation - Malfunction			
	735	Alarm system sounded due to malfunction			
	736	CO detector activation due to malfunction			

	740	Unintentional transmission of alarm, other			
	741	Sprinkler activation, no fire			
	743	Smoke Det. Activation - Unintentional	1	2	
	744	Detector activation, no fire			
	745	Alarm System Act. - Unintentional	1	2	
	746	Carbon Monoxide Activation, NO CO			
Severe Weather					
	812	Flood Assessment			
Special Incident Type	813	Wind Storm, Tornado/Hurricane Assessment			
	814	Lightning Strike (No Fire)			
	911	Citizen Complaint			
	9002	Civil Infraction Issued			
	9003	Affidavit Issued			
		Total Response for Union Twp/City	7		9
		YTD Response for Union Twp/City	146		206

- Emergency - MPFD
- Emergency - MPFD Secondary to MMR
- Non - Emergency

Mount Pleasant Fire Department

**Fire Experience Report For Union Township/City of Mt. Pleasant
Period - June 10, 2019 through June 16, 2019**


Category	Code	Description	Twp	Resp	City
Fire	100	Fire, Other			
	111	Building Fire			
	112	Fires in Structures other than a Building			
	113	Cooking Fire			
	114	Chimney or Flue Fire			
	116	Fuel Burner/Boiler Malfunction			
	118	Trash or Rubbish fire, contained			
	130	Mobile Property Fire, Other			
	131	Passenger Vehicle Fire			
	132	Road freight or transport vehicle fire			
	136	Self-propelled Motor Home/Recreational			
	137	Camper or Recreational Vehicle (RV) Fire			
	138	Off-road vehicle of heavy equipment fire			
	140	Natural Vegetation Fire			
	143	Grass/Brush fire			
	150	Outside Rubbish Fire, other			
	151	Outside Rubbish Fire, trash or waste fire			
	154	Dumpster Fire			
	160	Special Outside Fire, Other			
	Overpressure Rupture, (No Fire)	200	Overpressure rupture, explosion, overheat		
251		Excessive heat, scorch burns with no fire			1
231		Chemical reaction rupture of process vessel			
Rescue & EMS Incident	300	Rescue, EMS incident, other			
	311	Medical Assist to EMS Crew	2	4	1
	321	EMS Call excluding Veh. Accident			5
	322	Motor Vehicle Acc. W/ Injuries			
	323	Motor Vehicle Acc/Pedestrian			1
	324	Motor Vehicle Acc. W/no Injuries			
	331	Lock-In (If lock out use 551)			
	342	Search for Person in Water			
	352	Extrication of Victim (s) from vehicle			
	353	Remove Victim from Stalled Elevator			
	360	Water & Ice-related Rescue, Other			1
	361	Swimming /recreational water area rescue			
	363	Swift Water Rescue			
3811	Technical rescue standby				
Hazardous Condition (No Fire)	400	Hazard condition other			
	410	Combustible/Flammable Gas Condition			
	411	Gasoline or Other Flammable Spill			
	412	Gas Leak (natural gas or LPG)			
	413	Oil of Combustible Liquid Spill			
	420	Toxic Condition, Other			
	421	Chemical Hazard (No Spill or Leak)			

	422	Chemical Spill or Leak			
	423	Refrigeration Leak			
	424	Carbon Monoxide Incident	1	2	
	440	Electric Wiring/Equipment Problem			1
	441	Heat from Short Circuit			
	442	Overheated Motor			
	443	Breakdown of Light Ballast			
	444	Power Line Down			
	445	Arcing, shorted electrical equipment			
	451	Biological hazard, confirmed or suspected			
	461	Building or Structure Weakened or Collapsed			
	462	Aircraft Standby			
	463	Vehicle Accident, general cleanup			
	480	Attempted burning, illegal action, other			
	4441	Utility Line Down	1	2	
Service Call					
	500	Service Call - Other			
	510	Person in Distress			
	511	Lock-out			
	512	Ring or Jewelry removal			
	520	Water Problem, Other			
	521	Water Evacuation			
	522	Water of Steam Leak			
	531	Smoke or Odor Removal			
	542	Animal Rescue			
	552	Police Matter			
	553	Public Service			
	555	Defective Elevator, No Occupants			
	561	Unauthorized Burning			
	571	Cover assignment, standby, moveup			
Good Intent Call					
	600	Good Intent Call, Other			
	611	Dispatched and Cancelled en route			
	622	No Incident Found on Arrival			
	631	Authorized controlled burning			
	650	Steam, gas mistaken for smoke,			
	651	Smoke Scare, Odor of Smoke			
	653	Smoke from Barbecue, Tar Kettle			
	661	EMS call, party already transported			
	671	HazMat Investigation, no HazMat			
False Alarm & False Call					
	700	False Alarm, Other			
	710	Malicious, mischievous false call, other			
	715	Local Alarm System, Malicious False Alarm			
	721	Bomb Scare - No Bomb			
	730	System Malfunction	1	3	
	731	Sprinkler activation due to malfunction			
	732	Extinguishing System Activation - Malfunction			
	733	Smoke Det. Activation - Malfunction			
	734	Heat Detector Activation - Malfunction			
	735	Alarm system sounded due to malfunction			
	736	CO detector activation due to malfunction			

	740	Unintentional transmission of alarm, other	1	2	2
	741	Sprinkler activation, no fire			
	743	Smoke Det. Activation - Unintentional			
	744	Detector activation, no fire			
	745	Alarm System Act. - Unintentional			
	746	Carbon Monoxide Activation, NO CO			
Severe Weather					
	812	Flood Assessment			
Special Incident Type	813	Wind Storm, Tornado/Hurricane Assessment			
	814	Lightning Strike (No Fire)			
	911	Citizen Complaint			
	9002	Civil Infraction Issued			
	9003	Affidavit Issued			
		Total Response for Union Twp/City	6		12
		YTD Response for Union Twp/City	152		218

 Emergency - MPFD

 Emergency - MPFD Secondary to MMR

 Non - Emergency

REQUEST FOR TOWNSHIP BOARD ACTION

To: Mark Stuhldreher – Township Manager **DATE:** June 18, 2019

FROM: Kim Smith – Public Service Director **DATE FOR BOARD CONSIDERATION:** June 26, 2019

ACTION REQUESTED: Approval of the purchase of a 2019 New Holland Compact Utility Tractor from Tilmann Hardware Inc. in the amount of \$21,000 and the trade-in of a 1999 John Deere 430 tractor in the amount of \$10,000 for a total net cost of \$11,000.

Current Action Emergency

Funds Budgeted: If Yes Account # 590-536-977.000 & 591-536-977.000 No N/A

Finance Approval MDS

BACKGROUND INFORMATION

The Charter Township of Union currently owns a 1999 John Deere Utility Tractor. This vehicle is used almost daily to complete various operation and maintenance task throughout the township water and sewer systems.

The 2019 Sewer and Water Budgets include funds to replace the existing 1999 John Deere tractor. The John Deere tractor is twenty years old and is beginning to experience issues with the hydraulic system. The 1999 tractor will be traded-in as part of this purchase transaction.

Outlined below are the bids we received for the purchase of a new utility tractor.

Supplier/Brand	Trade-In 1999 John Deere 430	New Tractor Bid Amount	Net Amount
Tilmann Hardware Inc	\$10,000.00	\$21,000.00	\$11,000.00
Bader & Sons	\$10,000.00	\$30,308.25	\$20,308.25
Capital Equipment	\$11,500.00	\$27,065.00	\$15,565.00

SCOPE OF SERVICES

One-time purchase of a 2019 New Holland compact utility tractor and trade-in of 1999 John Deere 430 tractor in the net amount of \$11,000.00.

JUSTIFICATION

The New Holland tractor is being purchased to replace an existing 1999 John Deere Tractor that is beginning to experience issues with the hydraulics.

The bid has been reviewed by the Public Service Department and found to be in accordance with the Standards and Conditions provided in the purchase specifications. Recommendation is to purchase the 2019 compact utility tractor from Tilmann Hardware Inc. in the amount of \$21,000.00 and trade-in the 1999 John Deere Tractor in the amount of \$10,000.00 based on the following:

- Supplier’s ability to provide specified equipment
- Supplier’s favorable past performance: Sales and service
- Cost

PROJECT IMPROVEMENTS

The following Board of Trustees goals are addressed with this request (from Policy 1.0: Global Ends)

1. Community well-being and common good
2. Safety
3. Health

COSTS

2019 New Holland Tractor	\$21,000.00
Trade-in 1999 John Deere Tractor	<u>\$10,000.00</u>
Net Purchase	\$11,000.00

FY2019 Sewer and Water Budget line items 590-536-977.000 & 591-536-977.000

PROJECT TIME TABLE

Delivery time 90 days after award of bid

RESOLUTION

Authorization is hereby given to purchase a 2019 New Holland Compact Utility Tractor from Tilmann Hardware Inc. in the amount of \$21,000 and the trade-in of a 1999 John Deere 430 tractor in the amount of \$10,000 for a total net cost of \$11,000.

Resolved by _____ Seconded by _____

Yes:
No:
Absent:

*Tilman Hardware
New Holland*

**2019 Compact Utility Tractor
Proposal**

TO: Office of the Public Service Director
Charter Township of Union
5228 South Isabella Road
Mt. Pleasant, MI 48858

BID DATE: May 22, 2019
TIME: 10:00 a.m.

In accordance with the specifications and other bid requirements heretofore provided, the undersigned agrees to provide the below listed bid items at the price(s) set forth below.

This is a firm bid and not subject to withdrawal or change for a period of sixty (90) days.

<u>QTY</u>	<u>BID ITEM</u>	<u>TOTAL</u>
1	2019 Compact Utility Tractor Per bid specifications	1 each \$ <u>\$20,400.00</u> TOTAL \$ <u>\$20,400.00</u> (Figures)

Twenty Thousand Four Hundred Dollars

(Written) _____ and NO /100 Dollars.

1	Detachable Pallet Forks Per bid specifications	1 each \$ <u>\$600.00</u> TOTAL \$ <u>\$600.00</u> (Figures)
---	--	---

Six Hundred Dollars

(Written) _____ and NO /100 Dollars.

2019 Compact Utility Tractor and Detachable Pallet Forks	TOTAL \$ <u>\$21,000.00</u> (Figures)
---	---

Twenty One Thousand Dollars

(Written) _____ and NO /100 Dollars.

Grill guard

Detachable pallet forks

Front bucket lift capacity @ Full Lift at The Pins: Min: 1,200 pounds

Front tires: Turf

Rear tires: Turf

Rear Tires to be loaded or rear wheel weights

Front head lights

Rear work light

Hazard lighting

Turn signals

Trade-in Information

1999 - 4400 John Deere Utility Tractor with 430 front loader, 540 PTO, rear and mid hydraulic connections, and turf tires

Approximately 950 hours

Trade-in tractor can be viewed by calling 989-772-4600 ext. 223 or 224 Monday – Friday 8:30 a.m. – 4:00 p.m. to set up an appointment.

No bidder may withdraw their bid within 90 days after the actual date of bid opening.

This section must be completed and returned with the bid proposal to verify that the unit proposed meets or exceeds the specifications listed above.

Mark T. Almon 04/30/2019
Specification Verification (name and title) Date

(meets specifications)

2019 Compact Utility Tractor

Specifications

Bidders are required to complete the certification at the end of this section of the bid by signing in the provided space. This section verifies that the unit complies with the listed specifications. Explanations for non-compliance must be provided on a separate sheet. Failure to do so will deem the proposal incomplete and will not be considered. Written questions regarding these specifications may be directed to Kim Smith, Public Service Director 2010 South Lincoln Road, Mt. Pleasant MI 48858 or via email to ksmith@uniontownshipmi.com.

2019 Compact Utility Tractor Minimum Specifications:

Model Year: 2019

Gross Horse Power: Minimum 35 HP – Maximum 38 HP

PTO Horse Power: Minimum 28 HP – Maximum 32 HP

3 Cylinder Turbo Diesel

3 range hydrostatic transmission

4 WD On the Go With 4 WD Select Lever

Power steering

Roll over protection (ROP)

Differential lock

Independent Rear PTO Control / 540 RPM

Hydraulic System Working Pressure: Min. 2300 PSI

Hydraulic pump capacity: Min: 8.0 GPM

3-point hitch: Category 1

Hitch lift capacity twenty-four inch (24") Behind Link Arms: Min: 1,300 pounds

Six foot (6') wide detachable front bucket

Charter Township
Union

Department of Public Services
5228 South Isabella Road
Mt. Pleasant, MI 48858
989-772-4600 ext. 223 & 224

BID ITEM _____ TOTAL

Trade in – John Deere Utility Tractor
per bid specifications

1 Each \$ \$11,000.00
TOTAL \$ \$11,000.00
(figures)

Eleven Thousand Dolars
(Written) _____ and NO/100 Dollars.

Total 1 - 2019 Compact Utility Tractor & Detachable Pallet Forks minus 1999 Utility Tractor Trade-in)

1 Each \$ \$10,000.00
TOTAL \$ \$10,000.00
(figures)

Ten Thousand Dollars
(Written) _____
_____ and NO /100 Dollars.

Respectfully Submitted,

COMPANY: Tilman Hardware DATE 04/30/2019

ADDRESS: 1963 N Winn Road

CITY Mt. Pleasant STATE MI ZIP 48858

TELEPHONE 989-644-2252 FAX 989-644-5147

AUTHORIZED SIGNATURE *Gary Tilman*

PRINT OR TYPE NAME & TITLE Gary Tilman

EMAIL gary@tilmannhardware.com and mike@tilmannhardware.com

WORKMASTER 25/35/40 VALUE COMPACTS (T4B)
US PRICE LIST

Standard Equipment

WORKMASTER™ 35 (Tier 4B Final)
35.0 Gross Engine hp @ 2600 rpm
29.7 PTO hp @ 2600 rpm (Gear)
28.0 PTO hp @ 2600 rpm (Hydro)

WORKMASTER™ 40 (Tier 4B Final)
40.0 Gross Engine hp @ 2600 rpm
34.0 PTO hp @ 2600 rpm (Gear)
32.0 PTO hp @ 2600 rpm (Hydro)

ALL MODELS

LS Model L32L19 Diesel Engine
3 Cylinder, Turbcharged Engine
Common Rail / Direct Fuel Injection
Tier 4b Final Emissions Compliant
114.7 cu. in. (1.9L) Displacement
Under Hood Muffler / Exhaust
Two-stage Dual Element Air Cleaner
Full-flow, Spin-on Oil Filter
Fuel Filter with water separator
Quick Glow Plug Starting Aid
Flip-up Hood w/ Gas Strut
7.4 (28L) gallon Fuel Tank

TRANSMISSION OPTIONS

12 x 12 Shuttle Shift Transmission
Left-hand, dash mounted,
synchronized shuttle
(4) Non-Synchronized gears
(3) Non-synchronized ranges

3-Range Hydrostatic with Cruise Control
and Dual-Pedal direction control for
forward and reverse

FRONT AXLE

Four Wheel Drive (FWD)
Fixed Position Rims
Tread Setting with R4 tires
- 45.6 in. (1159 mm)

REAR AXLE

Flange Type Axle
Rear Differential Lock
Reversible Position Rims - R1 tires only
Fixed Position Rims - R3, R4 tires
Tread Setting with R4 tires
- 50.5 in. (1283 mm)

STEERING

Hydrostatic Power Steering
Fixed Steering Column

BRAKES

Wet Disc
Dual Brake Pedals
Foot-assist Parking Brake Lever

HYDRAULIC SYSTEM

Open Center Hydraulic System
Dual Gear-type Pumps
Total Pump Capacity:
- Gear 12.4 gpm (46.8 L/min)
- HST 13.5 gpm (50.8 L/min)
Mid-Mount Valve and Joystick

3-POINT LIFT SYSTEM

Lift Capacity @ link ends:
- 1808 (lbs.) / 820 (kg)
Category I, 3-point Linkage
Position Control Lever
Drop Rate Control Knob
Turnbuckle Leveling Mechanism
Telescoping Stabilizers
Fixed Link Ends

PTO

Rear PTO
- Independent 540 rpm
- Electro-hydraulic engagement
- Flip-up Shield
- Shaft Cap
Mid PTO (Standard on HST models)
- Independent 2000 RPM

140TLA2 FARM LOADER WM35/40 (T4B ONLY)
US PRICE LIST

Standard Equipment

TRACTOR APPLICATIONS:

- Current New Holland Compact Models:
- WORKMASTER™ 35 (T4B ONLY)
 - WORKMASTER™ 40 (T4B ONLY)

NOTE:

- Important Compatibility Information
- A configured model 140TLA2 is NOT compatible with the WORKMASTER 35/40 T3 or WM33/37 T4B Tractors
 - To assure proper performance, see Operator's Manual for recommended counterweighting

Loader Specifications: (PRELIMINARY)

- Max lift height (under level bucket):
- 91.5 in / 2324 mm
- Clearance with bucket dumped:
- 64 in / 1626 mm
- Max dump angle: 48 °
- Reach with bucket on ground:
- 74.0 in / 1879.6 mm
- Bucket roll back angle: 30.4 °

Lift capacity:

- @ bucket pivot pin, max height:
 - 1250 (lbs.) / 567 (kg)
- @ 500 mm forward, max height:
 - 1100 (lbs.) / 499 (kg)
- @ bucket pivot pin, 1500 mm height:
 - 1500 (lbs.) / 680 (kg)

Breakout force:

- @ bucket pivot pin:
 - 2700 (lbs.) / 1225 (kg)
- @ 500 mm forward:
 - 1900 (lbs.) / 862 (kg)

Cycle times:

- Raising: 3.8 sec
- Lowering: 1.7 sec
- Lowering (float): 2.2 sec
- Bucket dumping: 2.2 sec
- Bucket roll back: 1.7 sec

Bucket Dimensions:

- Width: 68.4 in / 1736.7 mm
- Depth: 22.0 in / 558.8 mm
- Height: 21.4 in / 542.9 mm
- Length: 31.0 in / 787.4 mm
- Weight: 260 (lbs.) / 118 (kg)

Bucket Capacities:

- Struck:
- 68" Bucket = .43 cu yd.
- Heaped:
- 68" Bucket = .53 cu yd.

Loader specifications may vary based on tractor model, hydraulic system, tire size, etc.

*NOTE: The 140TLA2 DOES NOT come with mid mount valve, couplers or joystick as these items are now standard on the WORKMASTER™ 35/40 T4B tractors. If a mid mount valve, coupler or joystick is needed, these items must be ordered from parts.

WARRANTY

New Holland Standard Warranty Applies

WORKMASTER 25/35/40 VALUE COMPACTS (T4B)
US PRICE LIST

Standard Equipment

DRAWBAR

- 2-Position Extendable
- Safety chain hook

OPERATOR'S AREA

2 Post Foldable ROPS

Contoured Cushion Seat

- Fore / Aft
- Flip up
- Spring Suspension
- Seat Belt

Foot Throttle (gear transmission)

Left Side Step

Left Side Grab Handle

Slow Moving Vehicle Emblem

INSTRUMENT PANEL

Digital Tachometer

Fuel Gauge

Coolant Temperature Gauge

Hour Meter

Engine Oil Pressure Warning Light

Battery Charge Warning Light

Cold Starting Aid Indicator Light

PTO ON Indicator Light

Parking Brake Indicator Light

Turn Indicator Lights

Hazard Flasher Indicator Lights

High Beam Headlights Indicator

ELECTRICAL

12-volt, 80Ah, 660 CCA Battery

Safety Start Switch

Key Start/Fuel Shutoff

70 amp Alternator

Operator Presence System

LIGHTING

(2) Halogen Headlights

(2) Halogen Corner Work Lights

(2) Taillights / Brakelights

(2) Flashing Warning Lights / Turn
Signals

BOOMER GUARD-6 WARRANTY

Full Coverage

- 24 months or 750 total hours

Powertrain

- Additional 48 months (72 total
months) or 1500 total hours

WORKMASTER 35 or 40 compacts will arrive at your dealership fully assembled (Roll on / Roll off) and ready to sell. This includes the installation of any 140TLA2 loader order linked to a WORKMASTER 35 or 40 order.

Tractor assembly and loader installation are free of charge. Freight charges will apply



Department of Public Services
5228 South Isabella Road
Mt. Pleasant, MI 48858
989-772-4600 ext. 223 & 224

**2019 Compact Utility Tractor
Proposal**

*John Deere
Bader & Sons*

TO: Office of the Public Service Director
Charter Township of Union
5228 South Isabella Road
Mt. Pleasant, MI 48858

**BID DATE: May 22, 2019
TIME: 10:00 a.m.**

In accordance with the specifications and other bid requirements heretofore provided, the undersigned agrees to provide the below listed bid items at the price(s) set forth below.

This is a firm bid and not subject to withdrawal or change for a period of sixty (90) days.

<u>QTY</u>	<u>BID ITEM</u>	<u>TOTAL</u>
1	2019 Compact Utility Tractor Per bid specifications	1 each \$ <u>29333.01</u> TOTAL \$ <u>29333.01</u> (Figures)

(Written)
TWENTY NINE THOUSAND THREE HUNDRED THIRTY THREE and ONE /100 Dollars.

1	Detachable Pallet Forks Per bid specifications	1 each \$ <u>975.24</u> TOTAL \$ <u>975.24</u> (Figures)
---	--	---

(Written)
NINE HUNDRED SEVENTY FIVE and TWENTY FOUR /100 Dollars.

2019 Compact Utility Tractor and Detachable Pallet Forks		TOTAL \$ <u>30308.24</u> (Figures)
---	--	--

(Written)
THIRTY THOUSAND THREE HUNDRED EIGHT and TWENTY FOUR /100 Dollars.

BID ITEM TOTAL

Trade in – John Deere Utility Tractor
per bid specifications

1 Each \$ 10,000
TOTAL \$ 10,000
(figures)

(Written)
TEN THOUSAND and NO /100 Dollars.

Total 1 - 2019 Compact Utility Tractor & Detachable Pallet Forks minus 1999 Utility Tractor Trade-in)

1 Each \$ 20308.25
TOTAL \$ 20308.25
(figures)

(Written)

TWENTY THOUSAND THREE HUNDRED EIGHT and TWENTY FIVE /100 Dollars.

Respectfully Submitted,

COMPANY: BARBER & SONS CO. DATE 13 MAY 2019

ADDRESS: 4240 E. ROSEBUSH RD.

CITY ROSEBUSH STATE MI. ZIP 48878

TELEPHONE 989-779-1707 FAX 989-399-0489

AUTHORIZED SIGNATURE Mark Salcher

PRINT OR TYPE NAME & TITLE MARK SALCHERT

EMAIL MSALCHERT@GREENTRACTORS.COM

(meets specifications)
(Did not provide statement of such - page # 7 of bid documents)



JOHN DEERE

YOUR CONTRACT. YOUR QUOTE. YOUR HELP REQUESTED.

**Ensure your equipment arrives with no delay.
Issue your Purchase Order or Letter of Intent.**

To expedite the ordering process, please include the following information in Purchase Order or Letter of Intent:

For any questions, please contact:

- Shipping address
- Billing address
- Vendor: John Deere Company
- 2000 John Deere Run Cary,
NC 27513
- Contract name and/or number
- Signature
- Tax exempt certificate, if applicable

Mark Salchert

Bader & Sons Co.
4240 E Rosebush Road
Rosebush, MI 48878

Tel: 989-779-1707

Fax: 989-779-1726

Email: msalchert@greentractors.com

The John Deere Government Sales Team



ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Bader & Sons Co.
4240 E Rosebush Road
Rosebush, MI 48878
989-779-1707
davidmeyers@greentractors.com

Quote Summary

Prepared For:

Union Township Hall
2010 S Lincoln Rd
Mt Pleasant, MI 48858
Business: 989-772-4600
Mobile: 989-621-1359
jbebow@uniontownshipmi.org

Delivering Dealer:

Bader & Sons Co.
Mark Salchert
4240 E Rosebush Road
Rosebush, MI 48878
Phone: 989-779-1707
msalchert@greentractors.com

Quote ID: 19603991
Created On: 13 May 2019
Last Modified On: 13 May 2019
Expiration Date: 13 June 2019

Equipment Summary

	Selling Price	Qty	Extended
JOHN DEERE 3039R Compact Utility Tractor (31 PTO hp) Contract: MI Ag, Grounds, and Roadside 071B7700085 (PG 3W CG 22) Price Effective Date: December 14, 2018	\$ 29,333.01 X	1 =	\$ 29,333.01
Frontier AP12F Fixed Pallet Fork for Current 200/300/400/500 Series Carrier Contract: MI Ag, Grounds, and Roadside 071B7700085 (PG 3W CG 22) Price Effective Date: November 1, 2018	\$ 975.24 X	1 =	\$ 975.24

Equipment Total **\$ 30,308.25**

Trade In Summary

	Qty	Each	Extended
2001 JOHN DEERE 4400 - LV4400H440689	1	\$ 10,000.00	\$ 10,000.00
PayOff			\$ 0.00
Total Trade Allowance			\$ 10,000.00

Trade In Total **\$ 10,000.00**

* Includes Fees and Non-contract items

Quote Summary

Equipment Total \$ 30,308.25

Trade In \$ (10,000.00)

Salesperson : X _____

Accepted By : X _____



ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):

Deere & Company
2000 John Deere Run
Cary, NC 27513
FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:

Bader & Sons Co.
4240 E Rosebush Road
Rosebush, MI 48878
989-779-1707
davidmeyers@greentractors.com

SubTotal	\$ 20,308.25
Est. Service	\$ 0.00
Agreement Tax	
Total	\$ 20,308.25
Down Payment	(0.00)
Rental Applied	(0.00)
Balance Due	\$ 20,308.25

Salesperson : X _____

Accepted By : X _____



Selling Equipment

Quote Id: 19603991 Customer Name: UNION TOWNSHIP HALL

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):
 Deere & Company
 2000 John Deere Run
 Cary, NC 27513
 FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:
 Bader & Sons Co.
 4240 E Rosebush Road
 Rosebush, MI 48878
 989-779-1707
 davidmeyers@greentractors.com

JOHN DEERE 3039R Compact Utility Tractor (31 PTO hp)

Hours:

Stock Number:

Contract: MI Ag, Grounds, and Roadside 071B7700085 (PG 3W CG 22)

Selling Price *
 \$ 29,333.01

Price Effective Date: December 14, 2018

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
1382LV	3039R Compact Utility Tractor (31 PTO hp)	1	\$ 26,689.00	16.00	\$ 4,270.24	\$ 22,418.76	\$ 22,418.76
Standard Options - Per Unit							
0202	United States	1	\$ 0.00	0.00	\$ 0.00	\$ 0.00	\$ 0.00
0409	English Operator's Manual and Decal Kit	1	\$ 0.00	0.00	\$ 0.00	\$ 0.00	\$ 0.00
1520	eHydro	1	\$ 1,366.00	16.00	\$ 218.56	\$ 1,147.44	\$ 1,147.44
1750	Factory Installed Loader less Bucket	1	\$ 5,260.00	16.00	\$ 841.60	\$ 4,418.40	\$ 4,418.40
2000	Open Station with Standard Seat	1	\$ 0.00	0.00	\$ 0.00	\$ 0.00	\$ 0.00
2650	Less Radio	1	\$ 0.00	0.00	\$ 0.00	\$ 0.00	\$ 0.00
3320	Dual Mid Selective Control Valve	1	\$ 0.00	0.00	\$ 0.00	\$ 0.00	\$ 0.00
3400	Less Mid PTO	1	\$ 0.00	0.00	\$ 0.00	\$ 0.00	\$ 0.00
4061	Less iMatch Quick Hitch Category 1	1	\$ 0.00	0.00	\$ 0.00	\$ 0.00	\$ 0.00
5223	41x14-20 (4PR, R3 Turf, 2 Position)	1	\$ -227.00	16.00	\$ -36.32	\$ -190.68	\$ -190.68
6223	27x8.5-15 (6PR, R3 Turf, 2 Position)	1	\$ 68.00	16.00	\$ 10.88	\$ 57.12	\$ 57.12
Standard Options Total			\$ 6,467.00		\$ 1,034.72	\$ 5,432.28	\$ 5,432.28
Dealer Attachments/Non-Contract/Open Market							
BW16183	1850-mm (73-in.) Materials Bucket	1	\$ 1,065.90	0.00	\$ 0.00	\$ 1,065.90	\$ 1,065.90
LVB25547	Auxiliary Rear Work Light Kit (1 Light)	1	\$ 66.07	0.00	\$ 0.00	\$ 66.07	\$ 66.07
D1	RIMGARD REAR TIRES	1	\$ 350.00	0.00	\$ 0.00	\$ 350.00	\$ 350.00
Dealer Attachments Total			\$ 1,481.97		\$ 0.00	\$ 1,481.97	\$ 1,481.97



JOHN DEERE



Selling Equipment

Quote Id: 19603991 Customer Name: UNION TOWNSHIP HALL

ALL PURCHASE ORDERS MUST BE MADE OUT TO (VENDOR):
 Deere & Company
 2000 John Deere Run
 Cary, NC 27513
 FED ID: 36-2382580; DUNS#: 60-7690989

ALL PURCHASE ORDERS MUST BE SENT TO DELIVERING DEALER:
 Bader & Sons Co.
 4240 E Rosebush Road
 Rosebush, MI 48878
 989-779-1707
 davidmeyers@greentractors.com

Value Added Services Total	\$ 0.00	\$ 0.00	\$ 0.00
Suggested Price			\$ 29,333.01
Total Selling Price	\$ 34,637.97	\$ 5,304.96	\$ 29,333.01 \$ 29,333.01

Frontier AP12F Fixed Pallet Fork for Current 200/300/400/500 Series Carrier

Equipment Notes:

Hours:

Stock Number:

Selling Price *

Contract: MI Ag, Grounds, and Roadside 071B7700085 (PG 3W CG 22)

\$ 975.24

Price Effective Date: November 1, 2018

* Price per item - includes Fees and Non-contract items

Code	Description	Qty	List Price	Discount%	Discount Amount	Contract Price	Extended Contract Price
2153XF	AP12F Fixed Pallet Fork for Current 200/300/400/500 Series Carrier	1	\$ 1,120.00	16.00	\$ 179.20	\$ 940.80	\$ 940.80
Standard Options - Per Unit							
1010	48 In. Pallet Tine	1	\$ 41.00	16.00	\$ 6.56	\$ 34.44	\$ 34.44
Standard Options Total			\$ 41.00		\$ 6.56	\$ 34.44	\$ 34.44
Suggested Price							\$ 975.24
Total Selling Price			\$ 1,161.00		\$ 185.76	\$ 975.24	\$ 975.24



Department of Public Services
5228 South Isabella Road
Mt. Pleasant, MI 48858
989-772-4600 ext. 223 & 224

Notice to Bidders

2019 Compact Utility Tractor Purchase

*Kubota
Capital Equipment*

The Charter Township of Union is accepting sealed bids for the purchase of one (1) 2019 Compact Utility Tractor including the trade-in of 1999 John Deere 4400 Utility Tractor.

Bids will be accepted until May 22, 2019, at, 10:00 am., at which time they will be opened and read aloud at the Isabella Treatment Facility located at 5228 South Isabella Road, Mt. Pleasant, MI 48858.

To view and download complete specifications, visit the Charter Township of Union website at www.uniontownshipmi.com/utilities/rfp

Bids are solicited on a lump sum basis and no bid deposit or bond is required with this bid.

All bids are to be sealed and clearly marked "Bid for "2019 Compact Utility Tractor".

The Charter Township of Union reserves the right to accept or reject any and all bids and to select the bid considered most advantageous to the Charter Township of Union.

[Handwritten signature]
[Handwritten signature]



Department of Public Services
5228 South Isabella Road
Mt. Pleasant, MI 48858
989-772-4600 ext. 223 & 224

2019 Compact Utility Tractor Instructions to Bidders

1. Proposals

Proposals must be made upon the forms provided, therefore, with the Bid amount both written and shown in figures, and all other data required submitted.

The Proposal, with all Proposal Documents, must be enclosed in a sealed envelope marked as specified in the Notice to Bidders for such Bid and clearly indicating the name and address of the Bidder and must be received by the Public Service Director, Union Township Hall, 2010 S. Lincoln Road, Mt. Pleasant Michigan 48858, no later than the time and date specified in the Notice to Bidders. At such specified time, Proposals shall be publicly opened and read aloud.

2. Basis of Proposals

Proposals are solicited on the basis of unit price(s) and/or lump sum(s), as specified on the Proposal form.

The Charter Township of Union, (also referred to as "Owner"), reserves the right to accept any Bid, to reject any or all Bids, and to waive any irregularities in the Bids, and to select the Bid considered most advantageous to the Township.

3. Comparison of Bids

In comparing Bids, consideration shall be given to the time proposed for completion of the Contract, qualifications of Bidder, delivery time, price differentials, alternate Proposals for the alternate items listed in the Proposal (if applicable), and any other pertinent factors.

The Owner reserves the right to make an award to the Bidder whose Proposal is deemed to be in the best interest of the Owner.

4. Time

Time is of the essence in the performance of the Contract, and each Bidder, by submitting a Proposal, certifies his/her acceptance of the time allowed by the Contract for the delivery of the equipment.

5. Indemnification

The Contractor/Vendor shall save and hold harmless the Township and its employees from and against all claims, damages, losses, or expenses, including attorney's fees, arising out of or resulting from the performance of the work; provided that any such claim, damage, loss or expense is caused in whole or in part by any negligent or willful act of omission of the Contractor, subcontractor, employee, or anyone under their direction. The Contractor shall at his/her own expense, defend any and all such actions and shall pay all attorney's fees, costs, and expenses pertaining thereto.

6. Interpretation of Documents

If any Bidder is in doubt as to the true meaning of any part of the Plans, Specifications or any Contract Document, he/she may submit to the Owner a written request for an interpretation thereof. Any interpretation made in response to such query shall be made only by Addendum, duly issued, and a copy of such Addendum shall be posted on our website no later than five days prior to bid due date. The Owner shall not be responsible for any other explanation or interpretation of the Contract Documents.

7. Execution of Bid Proposal

A Bid Proposal must be signed by the individual making it and who is duly authorized by the vendor to submit such proposal/bid on their behalf.

A Bid Proposal, which is signed by a partnership, shall be signed by all of the partners or by an Attorney-in-Fact. If signed by an Attorney-in-Fact, there should be attached to the Bid, a Power of Attorney evidencing authority to sign the Bid Proposal in the name of the partnership and such Power of Attorney shall be signed by all partners of the partnership.

A Bid Proposal, which is signed for a corporation should have the correct corporate name thereof and the signature of the President, or other authorized officer(s)/individual of the corporation, manually written below the corporate name and on the line indicating

"By:_____."

8. Delivery

The successful Bidder shall deliver equipment and/or materials as specified to the Charter Township of Union, within 90 days of acceptance of bid to 4795 S Mission Road Mt. Pleasant, MI 48858, or as specified in the proposal. The proposal amount should include delivery F.O.B to Mt. Pleasant. All equipment, literature, manuals, warranty papers, and any other items listed in the specifications of the equipment or materials, must be delivered before payment in accordance with this contract.

**2019 Compact Utility Tractor
 Proposal**

TO: Office of the Public Service Director
 Charter Township of Union
 5228 South Isabella Road
 Mt. Pleasant, MI 48858

BID DATE: May 22, 2019
TIME: 10:00 a.m.

In accordance with the specifications and other bid requirements heretofore provided, the undersigned agrees to provide the below listed bid items at the price(s) set forth below.

This is a firm bid and not subject to withdrawal or change for a period of sixty (90) days.

QTY	BID ITEM	TOTAL
1	2019 Compact Utility Tractor Per bid specifications	1 each \$ <u>26525.-</u> TOTAL \$ 26525.- (Figures)

Kubota L3560HS + Front Loader
 (Written)
Twenty Six Thousand Five Hundred Twenty Five dollars and _____ /100 Dollars.

1	Detachable Pallet Forks Per bid specifications	1 each \$ <u>540.-</u> TOTAL \$ 540.- (Figures)
---	--	--

48" 4000LB Detachable Pallet Forks
 (Written)
Five Hundred Forty dollars and _____ /100 Dollars.

2019 Compact Utility Tractor and Detachable Pallet Forks		TOTAL \$ 27065.- (Figures)
---	--	--------------------------------------

Kubota L3560HS + Front Loader Detachable Pallet Forks
 (Written)
Twenty Seven Thousand Sixty Five dollars and _____ /100 Dollars.

BID ITEM _____ **TOTAL** _____

Trade in – John Deere Utility Tractor
per bid specifications

1 Each \$ 11500
TOTAL \$ 11500
(figures)

JD 4400HST with front loader

(Written)

Eleven Thousand Five Hundred dollars and 00 /100 Dollars.

Total 1 - 2019 Compact Utility Tractor & Detachable Pallet Forks minus 1999 Utility Tractor Trade-in)

1 Each \$ 15565
TOTAL \$ 15565
(figures)

L3560HST Loader Pallet Forks minus JD4400HST

(Written)

Fifteen Thousand Five Hundred Sixty Five dollars and 00 /100 Dollars.

Respectfully Submitted,

COMPANY: Capital Equipment DATE 5/21/19

ADDRESS: 302 N McLean St

CITY Clare STATE mi ZIP 48617

TELEPHONE 989 386 2192 FAX 989 386 2038

AUTHORIZED SIGNATURE [Signature]

PRINT OR TYPE NAME & TITLE Richard Casneki Sales

EMAIL RichC@cedrater.com

2019 Compact Utility Tractor

Specifications

Bidders are required to complete the certification at the end of this section of the bid by signing in the provided space. This section verifies that the unit complies with the listed specifications. Explanations for non-compliance must be provided on a separate sheet. Failure to do so will deem the proposal incomplete and will not be considered. Written questions regarding these specifications may be directed to Kim Smith, Public Service Director 2010 South Lincoln Road, Mt. Pleasant MI 48858 or via email to ksmith@uniontownshipmi.com.

2019 Compact Utility Tractor Minimum Specifications:

Model Year: 2019

Gross Horse Power: Minimum 35 HP – Maximum 38 HP

PTO Horse Power: Minimum 28 HP – Maximum 32 HP

3 Cylinder Turbo Diesel

3 range hydrostatic transmission

4 WD On the Go With 4 WD Select Lever

Power steering

Roll over protection (ROP)

Differential lock

Independent Rear PTO Control / 540 RPM

Hydraulic System Working Pressure: Min. 2300 PSI

Hydraulic pump capacity: Min: 8.0 GPM

3-point hitch: Category 1

Hitch lift capacity twenty-four inch (24") Behind Link Arms: Min: 1,300 pounds

Six foot (6') wide detachable front bucket

Grill guard

Detachable pallet forks

Front bucket lift capacity @ Full Lift at The Pins: Min: 1,200 pounds

Front tires: Turf

Rear tires: Turf

Rear Tires to be loaded or rear wheel weights

Front head lights

Rear work light

Hazard lighting

Turn signals

Trade-in Information

1999 - 4400 John Deere Utility Tractor with 430 front loader, 540 PTO, rear and mid hydraulic connections, and turf tires

Approximately 950 hours

Trade-in tractor can be viewed by calling 989-772-4600 ext. 223 or 224 Monday – Friday 8:30 a.m. – 4:00 p.m. to set up an appointment.

No bidder may withdraw their bid within 90 days after the actual date of bid opening.

This section must be completed and returned with the bid proposal to verify that the unit proposed meets or exceeds the specifications listed above.

Richard Carver's Sales 5/21/19

Specification Verification (name and title)

Date

Does not meet Specifications as follows:
• Lifting Capacity Front End - 1016 Difference -
• Motor not turbo charged



REQUEST FOR TOWNSHIP BOARD ACTION

TO: Board of Trustees	DATE: June 17, 2019
FROM: Mark Stuhldreher, Township Manager	DATE FOR BOARD CONSIDERATION: 6/26/2019
ACTION REQUESTED: Approval of a Facilities Use Agreement between the Township and the Mt. Pleasant Pony Colt League/Mt. Pleasant BPA (the "Pony League") and to allow the Township Manager to execute same on behalf of the Township.	

Current Action X Emergency _____

Funds Budgeted: If Yes X Account # Several within the Recreation Department No _____ N/A _____

Finance Approval MDS

BACKGROUND INFORMATION

For several decades, The Charter Township of Union has worked closely with the Union Township Kids Little League, the Mt Pleasant Area Girls Youth Softball Association and the Pony League to help facilitate strong programs and quality facilities for the community. These programs were created years ago by dedicated community members and have continued to flourish with the combined support of the Township and the dedicated volunteers. Basic Use Agreements have existed between the Township and these organizations in the past but have since lapsed.

On February 9, 2017 the administration met with representatives from the Union Township Kids Little League, the Mt Pleasant Area Girls Youth Softball Association and the Pony League to begin discussion regarding executing an updated Facilities Use Agreement between the respective parties. After many meetings with the Union Township Kids Little League and the Mt Pleasant Area Girls Youth Softball Association, agreement was reached on a Facilities Use Agreement(s). Those Agreements were approved in the fall of 2017.

More recently, the Pony League and the Township have reached agreement on the attached Facilities Use Agreement.

Highlights of the Agreement include:

- Recognition of the exclusive use of the facilities by the Pony League within agreed upon time frames
- Field and surrounding area maintenance standards and shared responsibility language
- Providing an opportunity for the Township to review the list of Pony League sponsors desiring to advertise on the fence of the field used by the Pony League to ensure the sponsors are in good financial standing with the Township before sponsor advertising banners can be placed on Township property
- Annual fee of \$1.00

SCOPE OF SERVICES

As described in the Agreement, field maintenance will be shared, information required by the Township will be provided, and the cooperative nature of the relationship that has existed for several decades will be maintained.

JUSTIFICATION

Execution of this Agreement will formalize the positive relationship that has and continues to exist between the Township and the Pony League and will ensure that this relationship continues.

PROJECT IMPROVEMENTS

The following Board of Trustees goals are addressed by approving these Agreements (From Policy 1.0: Global Ends)

- Community well-being and common good
- Prosperity through economic diversity, cultural diversity , and social diversity
- Safety
- Health
- Natural environment
- Commerce

COSTS

All cost associated with this Agreement are budgeted in the General Fund Recreation Department. This Agreement does not produce additional expenses beyond what has traditionally been incurred by the Township.

PROJECT TIME TABLE

The Agreement will become effective upon execution and will continue on an annual basis. The Township and the Pony League can terminate with proper notice as outlined in the Agreements.

RESOLUTION

It is hereby resolved that the attached Facilities Use Agreement between the Township and Mt. Pleasant Pony Colt League/Mt. Pleasant BPA is approved and that the Township Manager is authorized to execute same on behalf of the Township.

Resolved by _____ Seconded by _____

Yes:
No:
Absent:

FACILITIES LICENSE AGREEMENT

This Facilities License Agreement is made as of _____, 2019, between the Charter Township of Union, a Michigan municipal corporation, the principal business address of which is whose address is 2010 S. Lincoln, Mt. Pleasant, MI 48858, (the "Township") and the Mt. Pleasant Pony Colt League/Mt. Pleasant BPA, whose address is 417 E. Grand Ave., Mt Pleasant, MI 48858 (the "League").

RECITALS

- A. The Township owns and operates recreational facilities commonly known as McDonald Park and Jameson Park (the "Facilities").
- B. The League conducts a youth baseball program within the community (the "Program") and desires to use the portion(s) of the Facilities depicted on the attached **Exhibit A** as a location for the Program.
- C. The Township desires to facilitate recreational activities within the community and desires to allow the League's use of the Facilities for the Program in accordance with the terms and conditions of this Agreement.

TERMS AND CONDITIONS

In exchange for the consideration in and referred to by this Agreement, the parties agree as follows:

1. License. The Township grants the League a non-exclusive license for its use of the Facilities for its Program subject to the terms and conditions of this Agreement, and for no other purpose.
2. Term. Unless terminated earlier pursuant to this Agreement, this Agreement shall continue automatically. The parties will meet each October to review this Agreement.
3. License Fee. The League shall pay to the Township an annual license fee of \$1.00 not later than 30 days after the Township invoices the League for the same. Upon request by the Township, the League shall provide a list of teams in the League.
4. Requirements of the League. This license is subject to the following terms and conditions:
 - (a) The League shall be responsible for obtaining any required permits for the use of the Facilities that may be required under federal, state, or local law.
 - (b) The League shall use its good faith efforts to oversee employees, volunteers, contracted officials, and participants to ensure all mentioned parties, abide by all Township policies, rules, and regulations, and shall work cooperatively with Township staff to resolve any issues.
 - (c) The League will schedule the use of those portions of the Facilities which are specifically designated on the attached Exhibit A during the months of April, May, June, and July each year and will provide the Township with a copy of the schedule. The Township will schedule use for the balance of the year and may permit League use of the facilities during the remainder of the year at the Township's discretion. Both parties will cooperate to schedule maximum use of the Facilities by the public and the League.
 - (d) The League shall submit proposed use schedules to the Township for the Township's written approval in at least 14 days in advance of its first practice and/or game. The Township shall not unreasonably withhold approval of the schedule. The League shall inform the Township of schedule changes in writing as soon as the League is aware of such changes. In the event the League fails to so notify the Township or in the event a game has been rescheduled due to weather, the League shall be responsible for field preparation for the rescheduled game.

- (e) The Township and League will work collectively to make final determinations as to the playability of the fields.
- (f) The League shall not charge a fee for parking to any party that is involved with the League or its scheduled activities.
- (g) The League shall provide the Township assurance that coaches have been appointed in accordance with applicable BPA and/or Pony Baseball standards for the season of the agreement.
- (h) The League, and its participants, shall not injure, mar, or in any way deface the Facilities. The League shall be solely responsible for any damage to the Facilities incurred as a result of negligence or misconduct by the League during its use of the same for the Program.
- (i) Storage of any League equipment at the Facility shall be as agreed upon by the parties.
- (j) The League shall be responsible for maintenance of the pitching mounds, batters' boxes, batting cages, dugouts, and raking of infields on Junior Servoss Field, at no cost to the Township.
- (k) The League shall be responsible for providing the equipment, in accordance with applicable safety standards, required to conduct its activities while using Servoss Field, including but not limited to bases, pitching rubbers, protective gear and baseballs. The League shall not be obligated to allow use of any the aforementioned equipment by other users and/or renters of the Facilities.
- (l) The League accepts the Facilities "AS IS" and with all faults. The Township has not made, does not make, and has not authorized anyone else to make any representation or warranty as to the Facilities. Without limiting the generality of the previous statement, the Township makes no representation about the presence or absence of any hazardous substances or materials or other contaminants and makes no representation about the suitability of the Facilities for any purpose or use.

5. Requirements of the Township.

- (a) The Township shall keep and maintain restrooms at the Facilities in clean condition and working order for use of the public and the League's participants during operating hours of the Facilities.
- (b) The Township shall maintain the storage building and the grounds area inside and outside the playing field area, and shall be responsible for dragging the fields, grass mowing, game day chalk lining, and field paint lining. Except as otherwise set forth in this Agreement, the League shall not perform any maintenance to the Facilities without prior written approval from the Township.
- (c) The Township shall also be responsible for removal of trash from the Facilities, however, the League shall ensure that obvious trash and litter is removed from the playing field and spectator areas and placed in designated trash receptacles following use of the Facilities. The Township and the League shall agree in writing in advance regarding any additional field maintenance and/or preventative maintenance such as fertilizer, weed control, and grub control, as well as the allocation of costs for the same. The League shall reimburse the Township for the agreed upon allocation of the cost of such additional maintenance within 30 days of receipt of the invoice for the same.
- (d) The Township shall be responsible for the payment of utilities associated with the Facilities until the Township and League agree, following good faith discussions to allocate utility expenses in the future.

6. Improvements to the Facilities.

(a) The League acknowledges that during the term of this Agreement, the Township may construct and renovate portions of the Facilities, including but not limited to buildings, playing fields and surrounding areas, function spaces, and park infrastructure improvements. Rerouting of vehicular and pedestrian traffic, noise, dust, and other customary consequences of construction activity may occur. The League shall have no claim for reduction of services caused by scheduled construction activity and shall have no priority in relocating to comparable locations. The Township shall provide the League with at least 15 days notice of any scheduled construction or maintenance that will impact the Facilities during the League's period of use of the same. In the event of an emergency requiring immediate work at the Facilities, the Township shall make a reasonable attempt to notify the League of the disruption as soon as possible.

(b) The League shall not construct any improvement or make any modifications to the Facilities without prior written consent of the Township. Prior to commencing any approved construction or installation of improvements, the League shall present plans, detailed specifications, and a timeline for completion of the construction and installation of desired improvements to the Township for the Township's reasonable review and written approval. The plans and specifications shall comply with applicable federal, state, and local standards.

(c) The parties shall agree in writing in advance to the distribution of costs for any approved improvements.

(d) . The Township shall have the right to inspect the improvements prior to the League's use of the same.

(e) The League shall ensure that all contractors used for the installation or construction of agreed upon improvements have commercially appropriate liability insurance covering any injuries and property damage occurring during installation.

(f) All materials added to fields must first be approved by the Township. Material includes, but not limited to, infield aggregate or engineered soil mix, grass seed, field drying agents, clay bricks and material for mounds, fertilizer, weed control, and grub control.

(g) Unless otherwise agreed by the parties, any existing (as listed in Exhibit A) or improvements made to the Facilities by the League become and remain the property of the Township following termination of this Agreement.

7. League Sponsorships.

(a) League sponsors desiring to display sponsorship banners at the Facilities must be approved by the Township and must be in good financial standing with the Township.

(b) League sponsorship banners may be displayed only during the contracted season or other activity agreed upon in advance in writing by the Township (for example, a camp, clinic, or tournament).

(c) Sponsorship banners must not exceed 4' in height x 8' in length.

8. Concessions. The League may sell snacks and non-alcoholic beverages for consumption by its Program participants and the public during its scheduled use of the Facilities. The League's sale of concessions shall be in accordance with all applicable law and permit requirements. Upon request by the Township, the League shall provide the Township with a list of concessions offered for sale at the Facilities. The sale or consumption of alcoholic beverages is strictly prohibited at the Facilities.

9. Assignment or Use by Others Prohibited. The League may not assign this Agreement or its rights, privileges, duties or obligations under this Agreement without the Township's prior written consent. The prohibition against assignment or use by others includes a prohibition against the operation by third parties of any camps, scrimmages, tryouts and/or tournaments without the advance written approval of the Township.

10. Indemnification. Except to the extent arising from the Township's negligence or willful misconduct, or except as to claims that are otherwise barred due to governmental immunity, the League shall hold the Township (defined for purposes of this paragraph to include the Township's officers and employees) harmless from, indemnify it for and defend it (with legal counsel reasonably acceptable to the Township) against any demand, claim, judgment, award, legal proceeding or loss of any kind arising from the League's use of the Facilities, except to the extent resulting from the negligence or intentional wrongdoing of the Township, or its officers, employees or agents. To the extent allowable by law, the Township shall hold the League, and/or its officers, volunteers, participants, employees, invitees, or guests harmless from, indemnify it for and defend it (with legal counsel reasonable acceptable to the League) against any demand, claim, judgment, award, legal proceeding or loss of an kind arising from the Townships performance under this Agreement, except to the extent resulting from the gross negligence or intentional wrongdoing of the League or its officers, volunteers, participants, employees, invitees, or guests.

11. Insurance. The League will provide the Township with certificates of insurance evidencing the following insurance coverages, with the Township included on such policies as an additional named insured:

Type of Insurance	Required Limits
Commercial General Liability	\$1,000,000 per occurrence/\$1,000,000 aggregate

12. Termination.

(a) The Township Board may revoke this license at will. In the absence of a breach of this Agreement by the League, prior to terminating the license, the Township shall first give the League 30 days' written notice that it is considering such action and the date and time of the Township Board meeting at which such action will initially be considered so that the League may address the Township Board.

(b) The Township Manager of the Township may suspend or revoke this license if the League has breached the terms of this Agreement and the League fails to cure such breach within 15 days of written notice thereof.

(c) The League may terminate this Agreement for any reason by providing 30 days' written notice to the Township.

(d) Upon the termination of this Agreement, the League shall, unless directed otherwise by the Township, remove its equipment and improvements from the Facilities and restore the Facilities to the condition it was in prior to its use of the Facilities without cost to the Township. If the League fails to remove its equipment or other improvements as requested by the Township within 60 days of termination of the Agreement, the Township may do so and invoice the League for the cost of removal.

13. Property Rights and Access. This Agreement grants only a license to use and does not grant or convey to the League any rights, title, or interest in the Facilities. The Township retains all property rights to the Facilities and retains its right to access the Facilities without notice to the League..

14. Binding Effect. This Agreement shall be binding upon the parties to this Agreement as well as their successors and permitted assigns.

15. Miscellaneous.

(a) This is the entire agreement between the parties regarding its subject matter. There are no prior or contemporaneous agreements. It may not be modified or amended except in writing, signed by each party. It shall not be affected by any course of dealing. The captions are for reference only and shall not affect its interpretation. More than one copy of this Agreement may be signed, but all constitute but one agreement. This Agreement shall be construed as if it were mutually drafted. Michigan law applies to this Agreement and its enforcement. Jurisdiction and venue for any action arising from or brought pursuant to this Agreement shall be solely in the state courts in Isabella County, Michigan.

(b) Any notices shall be made in writing to the addresses first written above or such other addresses as indicated by notice and shall be made by personal delivery or by postage prepaid United States first-class mail and shall be deemed completed when actually received or, if by first-class mail, three business days after mailing.

The parties have signed this Agreement as of the date first above written.

CHARTER TOWNSHIP OF UNION

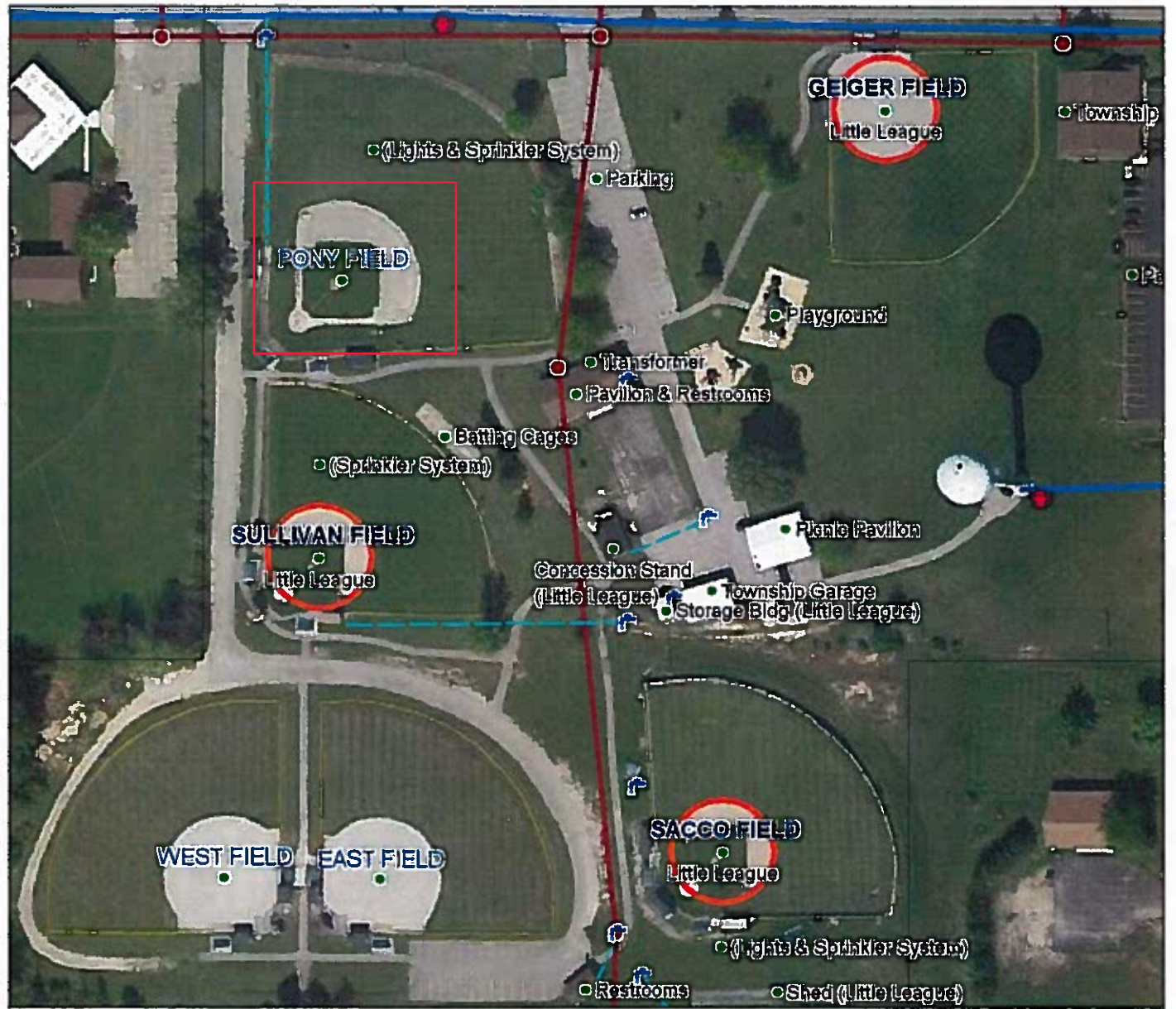
Mt. Pleasant Pony Colt League/Mt. Pleasant
BPA

By: _____
Mark Stuhldreher, Township Manager

By: _____
Its _____

Date signed: _____, 2019

Date signed: _____, 2019



Attachment A - Little League

**Union Township
Ball Fields:
McDonald Park &
Jameson Park**



Map Date: February 10, 2017



REQUEST FOR TOWNSHIP BOARD ACTION

To: Mark Stuhldreher Township Manager	DATE: 06/19/2019
FROM: Peter Gallinat Township Planner	DATE FOR BOARD CONSIDERATION: 06/26/2019
ACTION REQUESTED: Introduce Zoning Text Amendment Ordinance 2019-04. Move to publish notice for adoption on July 24, 2019 in the Morning Sun Newspaper. (Roll Call Vote)	

Current Action _____ Emergency _____

Funds Budgeted: If Yes _____ Account # _____ No _____ N/A X

Finance Approval _____

BACKGROUND INFORMATION

This past spring Lone Maple Development requested a site plan review for the construction of accessory solar panels in the rear yard of the property. The current Zoning Ordinance only permits solar panels on the roofs of residential structures. After reviewing the application and Zoning Ordinance the application for a site plan review was denied. At the time of the application, McKenna Associates had prepared a Solar Energy Ordinance draft. This draft was intended for consideration as part of the new updated Zoning Ordinance. The Township upon request provided a copy of the draft Solar Energy Ordinance to Lone Maple Development.

After reviewing the draft, Lone Maple Development found their project to be in compliance with the draft and made application to the Planning Commission for a Text Amendment. In May the Township Planning Commission held a public hearing for the text amendment. Following the public hearing the Commission forwarded the request to the County Planning Commission for review but, did not make a recommendation to the Township Board. Earlier this month on June 4, 2019 the Planning Commission at a special meeting reviewed proposed draft sections of the new Zoning Ordinance. Among these was the proposed Solar Energy Ordinance section.

On June 18, 2019 the Planning Commission recommended the adoption of Text Amendment 2019-01 (Zoning Text Amendment 2019-04) to the Board of Trustees. The Commission asked that the draft Ordinance be revised for any grammatical errors before adoption. If adopted this amendment would be added to the current Zoning Ordinance.

SCOPE OF SERVICES

N/A

JUSTIFICATION

Following a public hearing the Planning Commission reviewed and recommended approval of Zoning Map Amendment Ordinance 2019-04. The Board of Trustees voted to consider the adoption of the Zoning Map Amendment 2019-03 at the May 22, 2019 meeting. The Text Amendment was reviewed by the Isabella County Planning Commission on June 13, 2019.

PROJECT IMPROVEMENTS

The following Board of Trustees goal is addressed with this request.

1. Community well-being and common good.
2. Commerce
3. Natural Environment

COSTS

N/A

PROJECT TIME TABLE

The first step is to introduce the Ordinance at a board meeting to hold a 1st reading. At this first meeting the board votes to post notice for the adoption of said Ordinance. The second step is to then consider adoption of the Ordinance at the meeting that was noticed. If the Township Board adopts the Ordinance a notice of adoption will be published in the Newspaper.

RESOLUTION

Authorization is hereby given to post notice for the adoption of Ordinance 2019-04 at the July 24, 2019 Board of Trustees meeting.

Resolved
by _____

Seconded
by _____

Yes:
No:
Absent:



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: A) TXT 2019-01 Solar Energy Systems Regulations Lone Maple LLC.

Applicant: Lone Maple Development LLC

Owner: Lone Maple Development LLC

Location: 5889 E. Broadway MT PLEASANT, MI 48858

Current Zoning: B-4 (General Business District)

Adjacent Zoning: B-4, I-2

Future Land Use/Intent: Commercial Industrial Mix: This district is intended for a blend of medium intensity commercial and small-scale light industrial uses. Light industrial uses include but are not limited to small-scale manufacturing, laboratories, R&D (research and development) firms, information technology firms, or other businesses that might be found in a technology park.

Current Use: Existing Office building

Reason for Request: To construct accessory structure solar panels in the rear yard for onsite solar energy consumption

History: Township Zoning Ordinance only allows solar panels on the roof of dwellings. Township is currently developing a solar energy section of the new township zoning ordinance. The applicant has reviewed the draft solar energy ordinance developed by our consultant. This exact draft is what the applicant is requesting to be added to the existing Township Zoning Ordinance.

Objective of board: Following such hearing, or hearings, the Township Planning Commission shall submit the proposed amendment to the County Planning Commission for proper action. The Planning Commission shall submit the proposed amendment, along with its recommendation, to the Township Board for consideration within sixty (60) days from the conclusion of the public hearing.

Recommendation from Township Planner

Forward the proposed amendment to the County Planning Commission for review. Either forward the amendment to the Board of Trustees with a recommendation or wait to make a recommendation at next PC meeting after meeting with our consultant from McKenna.

Peter Gallinat
Township Planner

APPLICATION FOR ZONING CHANGE
CHARTER TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. _____

DATE 04.02.2019

A. I (WE) _____

Address _____
Phone _____

hereby file an application with the Township Clerk's office to:

1. ___ Add to or change the text of the Zoning Ordinance.
2. ___ Change the district boundaries.
3. ___ Re-zone the property from _____
zoning classification to _____
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

C. If this application is for the re-zoning of property please provide a complete legal description.

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

SEE ATTACHMENT(S)

G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet) ^{N/A}

H. List all or any easements or right-of-ways which have been granted said properties herein described.

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:

Applicant Date

Applicant Date

Applicant Date

** FOR OFFICE USE ONLY **

Date application referred to Planning Commission _____

Date public hearing notice published _____

Date public hearing notice mailed _____

Planning Commission Action. ___ Adopted ___ Denied Date _____

Date referred to County Planning Commission _____

Township Board Action ___ Adopted ___ Denied Date _____

Remarks: _____

FEE _____ RECEIPT NO. _____

APPLICATION FOR ZONING CHAGE
CHARTER TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN

ADDENDUM #1

RE: LONE MAPLE DEVELOPMENT, LLC – 5889 E. BROADWAY STREET MT. PLEASANT MI 48858

SECTION B. – If this application is for a text amendment please describe in detail what you would like to change. Give Section numbers and proposed changes, standards, procedures.

Lone Maple Development, LLC formally requests that Charter Township of Union immediately amend the text for ordinance under Section 6.39 (Solar Energy Systems Regulations). We request that the language for the ordinance under Section 6.39 be amended to the text that is attached to this application and labeled Exhibit #1 which includes all proposed changes, standards and procedures.

SECTION E. – Please provide reasons for requesting text amendment, or zoning change and include intend use of any land, buildings, or structures.

The need for immediate amendment to Section 6.39 of the zoning ordinance is that Federal Tax Incentives are set to be reduced starting January 1, 2020 and therefore we need to install and place our solar energy system (SES) in service in 2019. Furthermore, we have applied for a USDA REAP grant and the grant (once awarded) will stipulate that the system must be installed in 2019. After discussions with Peter Gallinat it was suggested that we make this amendment request now as a way to expedite the new language introduction for Section 6.39 given that the Township has already began the process of reviewing & updating this ordinance and in conjunction with our need to move quickly. Our project is fully funded and ready to be installed once the zoning ordinance is amended and the necessary Township & State permits are granted as evidenced by our commitment letter from Isabella Bank (Exhibit #2) and by our initial down payment to our vendor Harvest Energy (Exhibit #3).

The intended use for our SES is a direct use as outlined in Section 6.39 subsection 8a. Our new SES is designed and will be installed as a ground mount array in order to provide on-site energy demand for the existing commercial building that is currently leased to MI Works!. The intended use of the existing building will not change with this SES as MI Works! Intends to maintain its operations at the building.

SECTION F. – Site Plan

A site plan is attached to this application as Exhibit #4.

STANDARDS & SES REGULATIONS

Our proposed SES will conform to all requirements as outlined in the amended ordinance language of Section 6.39 as evidenced below:

- Section C - Applicability
 - This SES will be a newly constructed in the Township and therefore is subject to the new zoning ordinance.
- Section D – Parcel Line Set Backs
 - A direct use SES must have the following minimum setbacks which we will abide by as evidenced in our site plan (Exhibit #4 – callout “a”)
 - Minimum Requirements: Front 50’; Back 25; Side(s) 20’
- Section E – Height
 - A direct use SES must not exceed 15’ in height. We will abide by this requirement as evidenced in our site plan (Exhibit #4 – callout “b”). Our SES array height is 12’ with a +/- variance of 12” for site grading.
- Section F – General Requirements
 - Section 1 – Building Permits
 - Our vendor Harvest Energy will apply for and receive all necessary permits before construction commences.
 - Section 2 – Supplemental Information Required for Primary Use SEFs
 - Although not required as part of our application we have included the following information regarding our SES for informational purposes.
 - Signs – N/A
 - Power lines – We will install power lines underground as evidenced in our site plan (Exhibit #4 – callout “c”)
 - Interconnection Application – Attached as Exhibit #5
 - Affidavit – N/A – Building owner is requesting the amendment.
 - Description of Technology – Attached as Exhibit #6
 - Information Sign – N/A
 - Ground Cover – We will maintain the existing grass ground covering in and around the ground mount SES. Our landscaping and mowing is handled by Green Side Up of Alma, this contract will remain in place after SES is installed.
 - Section 3 – N/A
 - Section 4 – Glare – Our SES will not produce excessive glare and will be located on the North side of the property 418’ from Broadway Street and located directly behind the existing building, therefore glare will not be an issue.
 - Section 5 – N/A
 - Section 6 – N/A
 - Section 7 –N/A
- Section G – Direct Use Facility

- Section 1 – General Requirements – We agree and conform to all requirements of this section and the SES will not be located in a flood plain as evidenced in Exhibit #7.
 - Section 2 - We agree to and conform to all requirements of this section
- Section H – N/A

Charter Township of Union Zoning Ordinance

Section 6.39 Solar Energy Systems Regulations

Section 6.39 Solar Energy Systems

A. Purpose

The purpose of this section is to facilitate the construction, installation and operation of Solar Energy Facilities (SEFs) in Union Township in a manner that protects public health, safety and welfare and avoids significant impacts to protected resources such as important agricultural lands, endangered species, high value biological habitats and other protected resources. It is the intent of this section to encourage solar facilities that reduce reliance on petroleum supplies, increase local economic development and job creation, reduce greenhouse gas emissions, and/or promote economic development diversification.

B. Supplementary Definitions

For purposes of this section the following terms shall have the following meanings:

1. "Applicant" means the Landowner, developer, facility owner, and/or operator with legal control of the project, including heirs, successors and assigns, who has filed an application for development of a Solar Energy Facility under this section.
2. "Landowner" means the person or persons or entities possessing legal title to the Parcel(s) upon which a SEF is located.
3. "Parcel" means all land within a legally established parcel.
4. "Protected Lands" means, for the purpose of this section only, lands containing resources that are protected or regulated by established regulatory standards of local, state, or federal agencies, conservation easements or other contractual instruments in such a way that prohibits or limits development of those lands.
5. "Review Authority" means the Charter Township of Union.
6. "Solar Energy Facility (SEF)" means an energy facility, principally used to convert solar energy to electricity, which includes, but is not limited to, the use of one or more solar energy systems.
7. "Solar Electric System (SES)" means the components and subsystems that, in combination, convert solar energy into electric or thermal energy suitable for use, and may include other appurtenant structures and facilities. The term includes, but is not limited to, photovoltaic power systems, solar thermal systems, and solar hot water systems.
8. "Uses Allowed" means one of the following:
 - a) Direct Use – a SEF designed and installed to provide on-site energy demand for any legally established use of the property.
 - b) Primary Use – a SEF that is devoted to solar electric power generation primarily for use off-site.

C. Applicability

1. This section applies to the construction of any new SEF within the Township.
2. A SEF legally established or permitted prior to the effective date of this section shall not be required to meet the requirements of this section, however:
 - a. Physical modification or alteration to an existing SEF that materially alters the size, type or components of the SEF shall be subject to this section. Only the modification or alteration is subject to this section; and
 - b. Routine operations and maintenance activities or like-kind replacements do not require a permit.

D. Parcel Line Setbacks

The minimum setbacks from the Parcel line to the closest part of the SEF structure, such as panels, racking, or inverters, shall be as shown in Table 1. Fencing, roads, landscaping, and utility interconnection infrastructure may occur within the required setback.

Table 1. Minimum Setbacks

	Direct Use Facility	Primary Use Facility
Minimum Setback from All Property Lines	Shall conform to the setbacks per zoning for that district.	75 feet

E. Height

For ground mounted systems, height restrictions shall be measured from finished grade below each module in the event the site has topographic changes.

Table 2. Maximum Height Limits

Type	Maximum Height
Ground Mounted	15'
Roof Mounted	5' above roof surface not to exceed the roof ridge

F. General Requirements

The following requirements apply to all SEF uses unless otherwise noted.

1. Building Permits Are Required

- a. Nothing in this Section modifies the minimum building requirements to construct a SEF, consistent with applicable building and fire codes. The SEF components and all accessory equipment shall comply with the most recently adopted Building Code as determined by the Building Official and Fire Code as determined by the Fire Official.
- b. A site plan shall be provided at the time of the Building Permit application demonstrating compliance with the minimum setbacks in Table 1.
- c. The Building Permit application shall be reviewed by local permitting departments including, but not limited to, the local Fire Authority, for health and safety requirements.

2. Supplemental Information Required for Primary Use SEFs

- a. The manufacturer's or installer's identification and appropriate warning sign shall be posted on or near the panels in a clearly visible manner.
- b. On site power lines between solar panels and inverters shall be placed underground, unless site conditions or a utility does not allow.
- c. If the solar energy facility consists of battery storage, adequate design must be provided to ensure all local, state and federal requirements regulating battery storage have been met.
- d. A copy of the project's interconnection application with the utility shall be provided to the Township.
- e. An affidavit or evidence of an agreement between the property owner and the facility's owner or operator confirming the owner or operator has permission of the property owner to apply for the necessary permits for construction and operation of the solar energy facility shall be provided to the Township
- f. A description of the proposed technology to include type of solar panel and system, fixed mounted verses solar tracking, estimated number of panels, and angles of orientation shall be provided to the Township.

- g. An information sign shall be posted and maintained at the entrance(s) to the site that lists the name and phone number of the operator.
 - h. For ground mounted SEFs, a description of the groundcover beneath and around the solar panels (i.e. grass, plantings) shall be provided, along with a plan for maintaining the groundcover.
3. Off-Site Facilities. When the SEF is located on more than one Parcel, there shall be proper easement agreements or other approved methods for the notification of all impacted parties.
 4. Glare. Glass, plastic, or metal panels must not produce excessive glare that is visible from the street or any neighboring home.
 5. Septic System Avoidance. SEFs shall not be located over a septic system, leach field area or identified reserve area unless approved by the County Health Department.
 6. Conformance with Development Requirements for Underlying Zone. When located on a structure, the SEF shall conform to the development standards for a principal structure in the zone in which the SEF is located, except as otherwise provided herein.
 7. Abandonment, Unsafe Facilities, Violations.
 - a. A SEF that ceases to produce energy on a continuous basis for 12 months will be considered abandoned unless the current responsible party (or parties) with ownership interest in the SEF provides substantial evidence to the Township of the intent to maintain and reinstate the operation of that facility. It is the responsibility of the responsible party (or parties) to remove all equipment and facilities and restore the Parcel to its condition prior to development of the SEF, unless otherwise approved by the Township.
 - b. Upon determination of abandonment or other violation(s), the Township shall notify the party (or parties) responsible that they must remove the SEF and restore the site to its condition prior to development of the SEF within ninety (90) days of notice by the Township.
 - c. If the responsible party (or parties) fails to comply, the Township may remove the SEF. Primary Use SEFs shall be removed in accordance with the Decommissioning Plan required in Section 6.39.H. The Township may initiate judicial proceedings or take any other steps legally authorized against the responsible parties to recover the costs required to remove the SEF and restore the site to a nonhazardous pre-development condition, including sale of removal materials.
 - d. Facilities deemed by the Township to be unsafe and facilities erected in violation of this section shall also be subject enforcement action. The Zoning Official or any other authorized employee of the Planning or Building Departments shall have the right to request documentation and/or affidavits from the Applicant regarding the system's operation, and shall make a determination as to compliance with the regulations in this section.

G. Direct Use Solar Energy Facilities

1. General Requirements. Direct Use Solar Energy Facilities are ground mounted or rooftop SEFs that provide energy primarily for on-site use. Rooftops or ground mounted systems covering developed parking areas or other hardscape areas are encouraged. In addition to the General Requirements in subsection F, and the development requirements for the underlying zone, the following requirements shall apply to all Direct Use SEFs:
 - a. Lot Coverage. Rooftop systems can be any size provided they do not extend beyond the edges of the roof. The size of ground mounted systems shall be limited by the allowable lot coverage of the underlying zoning district.
 - b. Setbacks. Ground mounted structures shall conform to the minimum setbacks for the district in which they are located.
 - c. Height Limits. Facilities shall conform to the height limits of Table 2.
 - d. Floodplain. A Direct Use SEF shall not be located in a Floodplain.

2. Biological Resources. The protection of high value biological resources is an important consideration. Direct Use SEF projects shall demonstrate that they have completed due diligence so as to minimize impacts on rare species or features protected by local, state, or federal agencies. If approvals are required, the Applicant shall obtain them from the applicable agency prior to construction.

H. Primary Use Solar Energy Facilities

1. General Requirements. Primary Use SEFs are required to obtain to a Special Land Use permit. In addition to the General Requirements in sub-section F and the development requirements for the underlying zone, the following requirements shall apply to all Primary SEFs:
 - a. Maximum Lot Coverage. The size of ground mounted structures shall be limited by the maximum lot coverage of the underlying zoning district.
 - b. Setbacks. Ground mounted structures shall conform to the setbacks as shown in Table 1. The buffer may be reduced if the decision-making body determines that the facility will be substantially screened because of topography, vegetation, an operational management plan, or an agricultural easement.
 - c. Height Limits. Facilities shall conform to the height limits of Table 2;
 - d. Grading. Grading within the Township shall be minimized whenever possible.
 - e. Permit Validity. An applicant for a Primary Use SEF shall have up to two (2) years to obtain a building permit and start construction, with options for extension from the Township when progress and need has been demonstrated.
2. Biological Resources. The protection of high value biological resources is an important consideration. Primary Use SEF projects shall demonstrate that they have completed due diligence as to minimize impacts on rare species or features protected by local, state, or federal agencies. If approvals are required, the Applicant shall obtain them from the applicable agency prior to construction.
3. Soil Stabilization, Erosion Control and Ground Water Management.
 - a. To the extent feasible and compatible with the climate and pre-project landscaping the site shall be restored with native vegetation. The re-vegetation plans shall be reviewed and approved by the Township.
 - b. A storm water management plan shall be submitted, which shall show existing and proposed grading and drainage, demonstrating the project is in compliance with applicable storm water regulations.
 - c. Prior to issuance of a building permit, a maintenance plan shall be submitted for the continuing maintenance of the SEF, which may include, but is not be limited to, planned maintenance of vegetation or ground cover, equipment maintenance, and plans for cleaning of solar panels if required.
 - d. After construction is completed, as-built surveys for the project must be prepared by a licensed professional surveyor or other approved qualified professional. The as-built surveys shall be submitted to the Township Planner for review and record keeping. The surveys shall show that the as-built conditions are substantially the same as those submitted for building permit.
4. Visibility.
 - a. Through the Special Land Use review process the Planning Commission may evaluate screening and buffering requirements on a site-by-site basis to assure the proposed SEF is appropriately screened from adjacent land uses. When it is properly demonstrated there exists no need to buffer due to existing natural vegetation or lack of impact on adjoining land uses (for example because the adjoining site is limited to crop production or is occupied by a wood lot), screening and buffering requirements may be waived provided, however, that SEFs located in a residential area shall have a minimum landscape buffer of twenty-five (25) feet. The buffer in a residential area shall contain evergreen trees planted no more than fifteen (15) feet apart. The trees shall be at least eight (8) feet tall at time of planting. A buffer area will not be required between a solar energy facility and an

industrial or commercial use. A planted buffer will not be required if an opaque fence is installed. The Planning Commission has the authority to reduce the buffer requirements based on site conditions.

5. Miscellaneous Requirements

- a. If lighting is required for site access or safety, it shall be activated by motion sensors, fully shielded and downcast so that the light does not spill onto the adjacent property.
- b. No display advertising is permitted, except for reasonable identification of the panel, inverter or other equipment manufacturer, warning signs, and the facility owner;
- c. SEFs shall be enclosed by a fence, or other appropriate barriers. Fences or barriers shall work to incorporate wildlife friendly design, when identified as appropriate.

6. Decommissioning Plan.

- a. The SEF project must contain a Decommissioning Plan to ensure it is properly decommissioned upon the end of its project life or facility abandonment.
- b. Decommissioning shall include: Removal of all structures (including transmission equipment and fencing) and equipment to a depth of four (4) feet, restoration of the soil, and restoration of vegetation within ninety (90) days of the end of project life or facility abandonment.
- c. The Decommissioning Plan shall state how the facility will be decommissioned, the Professional Engineer's estimated cost of decommissioning, the financial resources to be used to accomplish decommissioning, and the type of surety to be provided prior to issuance of a building permit.
- d. Surety:
 - i. The owner(s) and/or operator of the SEFs shall post a surety in a form acceptable to the Township, such as security bond, irrevocable letter of credit, escrow, or other form deemed acceptable by the Township equal to one-hundred fifty (150) percent of the total estimated decommissioning and reclamation costs, prior to issuance of a building permit. The cost of decommissioning shall be reviewed between the operator and the Township Board every five (5) years to ensure adequate funds are allocated for decommissioning; the surety shall be appropriately adjusted to reflect the current decommissioning estimate.
 - ii. The surety shall be established and maintained with a company licensed in the State of Michigan and/or a Federal- or State-chartered lending institution acceptable to the Township.
 - iii. The company providing the surety shall provide the Township with 90 days' notice of the expiration of the surety. Lapse of a valid security bond is grounds for the actions defined in subpart v, below.
 - iv. In the event of sale or transfer of ownership and/or operation of the SEF, a surety shall be maintained throughout the entirety of the process.
 - v. If at any time during the operation of the SEF or prior to, during, or after the sale or transfer of ownership and/or operation of the SEF the surety is not maintained, the Township may take any action permitted by law to revoke the conditional use permit and to order a cessation of operations and order removal of the structure and reclamation of the site in accordance with the decommissioning plan.
 - vi. The Township shall have access to surety for the expressed purpose of completing decommissioning if decommissioning is not completed by the owner(s)/operator within ninety (90) days of the end of the project life or facility abandonment.
 - vii. The Township is granted right of access to the site, pursuant to reasonable notice, in the event that decommissioning is not completed by the owner(s)/operator within ninety (90) days of the end of the project life or facility abandonment.

McKENNA
o:\clients.u-z\union township\2019 zoning ordinance update\08-draft text\solar energy ordinance 012919.docx
January 29, 2019

INTEREST

RATE OPTIONS: **5 year fixed rate equal to the Wall Street Journal Prime Rate + 0.50% at the time of loan closing:** The interest rate will be fixed for the first 5 years of the loan. At the conclusion of the initial 5 year fixed rate period the loan will convert to a variable rate with pricing equal to the stated Wall Street Journal Prime + 0.5% at the time conversion for the remaining 10 year term of the loan.

Interest shall be computed on the basis of a 360-day year, counting the actual number of days elapsed.

LOAN FEE: There will be a \$750 loan fee payable to Isabella Bank at closing.

PREPAYMENT: A 2% prepayment penalty on the outstanding principal balance at the time of payoff applies to this loan during loan term, **only if repaid from other bank financing.** An accelerated repayment via borrower's excess cash flow will not result in a penalty.

COLLATERAL: The proposed loan shall be secured by a first mortgage on the subject property located at 5889 E. Broadway Mt. Pleasant, MI.

REAL ESTATE EVALUATION: Prior to closing, the Bank shall require an in house real estate evaluation to be performed to determine the market value of the proposed collateral. **Loan to value shall not exceed 80% of the lower of cost or appraised value.**

APPROVAL: **The proposed loan is contingent upon the receipt and review of the previous three years of federal tax returns (including K-1 information, if applicable) and financial statements from all borrower(s) and guarantor(s). A positive cash flow from the subject property sufficient to service the requested debt must be demonstrated by borrower(s) in order to obtain approval of the requested loan.**

The terms outlined above shall be valid thru March 1, 2019.

I hope you find these proposed terms acceptable. Should you have any questions concerning this letter, please do not hesitate to call me.

Respectfully,

Tom Gross
Isabella Bank

EXHIBIT #4

Mailed 3/15 \$225.00

Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name Harvest Energy Solutions
- III. Applicant Address 2218 E High Street Jackson, MI 49203
- IV. Applicant Phone 517 888 8000 Owner Phone 989 708 6856
- V. Applicant is (circle) Contractor Architect Engineer Developer Land Owner (skip V & VI) Other
- VI. Land Owner Name Ryan Smith / LONE MAPLE DEVELOPMENT, LLC
- VII. Land Owner Address 355 Enterprise Drive Breckenridge, MI
- VIII. Project/Business Name Lone Maple
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		Off
Storm water management plan approval prior to application. Reviewed by the County Engineer <i>75 sq. ft. of soil disturbance</i>	<i>n/a</i>	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	<i>n/a</i>	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.		Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)		Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	<i>n/a</i>	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List	<i>n/a</i>	
SITE PLAN REQUIREMENTS		I Of
Name and addresses of Property Owner:		<i>Harvest Energy Solutions Robert Miller 2218 E. High St. Jackson, MI 49203</i>
Name and Address of Applicant		
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)		

Union Township Site Plan Review Application 2015 Revision

<p>The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.</p>	<p align="center"><i>See Attached site plan</i></p>
<p>All lot and/or property lines are to be shown and dimensioned, including building setback lines</p>	<p align="center">SEE EXHIBIT #4"A"</p>
<p>The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - drives, ----- sidewalks, (required) ----- curb openings, ----- acceleration/deceleration lanes, ----- signs, ----- exterior lighting on buildings and parking lots, - - parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), ----- recreation areas, ----- common use areas, ----- areas to be conveyed for public use and purpose. -</p>	<p align="center">SEE EXHIBIT #4"A"</p>
<p>Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation</p>	<p align="center">SEE EXHIBIT #4 "D"</p>
<p>Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.</p>	<p>Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department</p>
<p>All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)</p>	<p align="center">EXISTING DUMPSTER ON SITE AND CONFORMS TO ORDINANCE</p>
<p>The location and right-of-way width of all abutting roads, streets, alleys and easements.</p>	<p align="center"><i>no work near right of way</i></p>
<p>A locational sketch drawn to scale giving the section number and the nearest crossroads.</p>	

Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.		
The location, height and type of fences and walls.		N/A
The location and detailed description of landscaping.		N/A
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.		N/A
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.		
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.		N/A

APPLICANT COMMENTS

Total project build timing is 3-4 days
The I Beams are pounded - no soil disturbance
Electrical trench is 4" wide opened and closed same day.

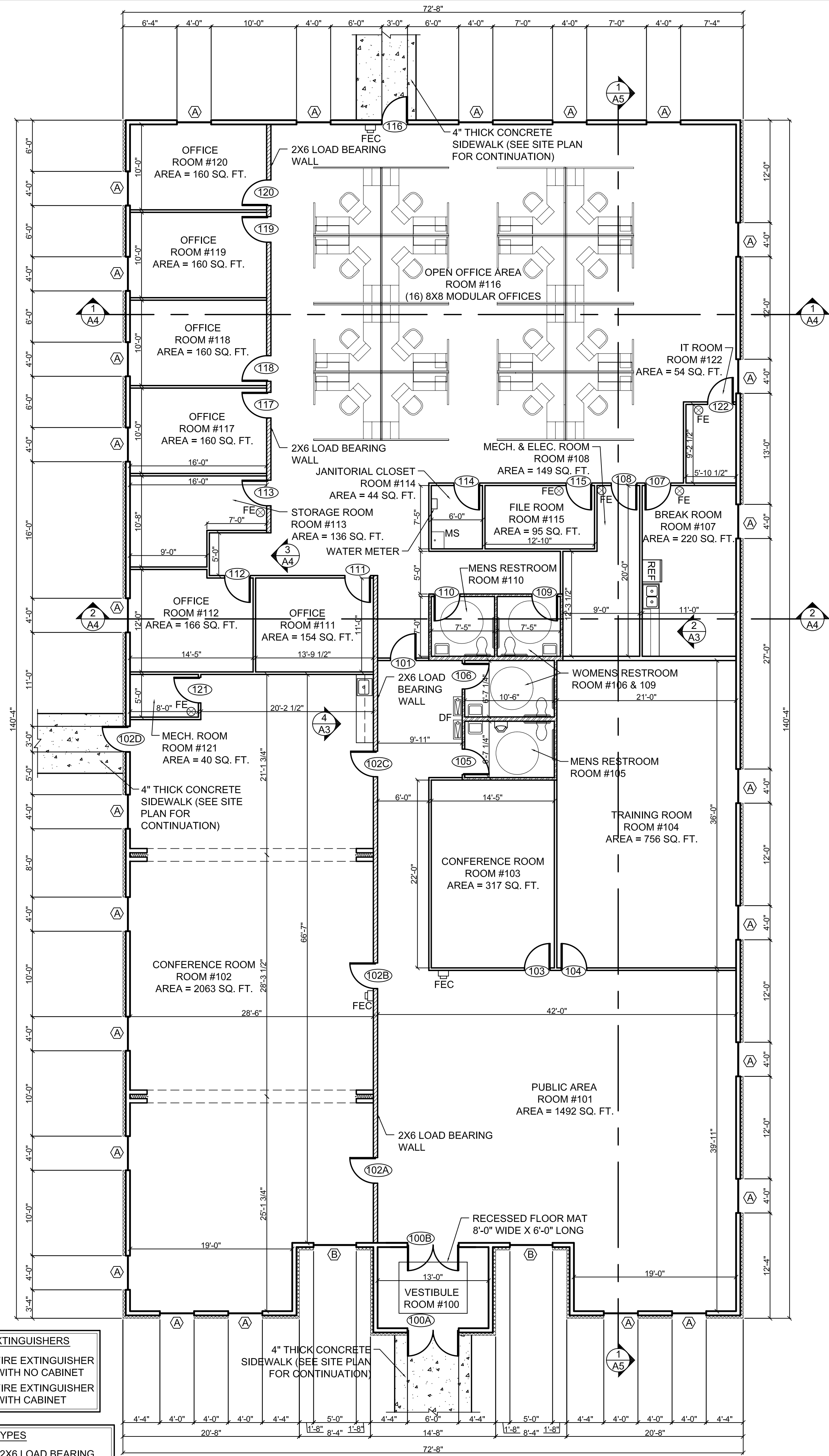
Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

Robert J. Miller - Harvest Energy 3-15-19
Signature of Applicant Date

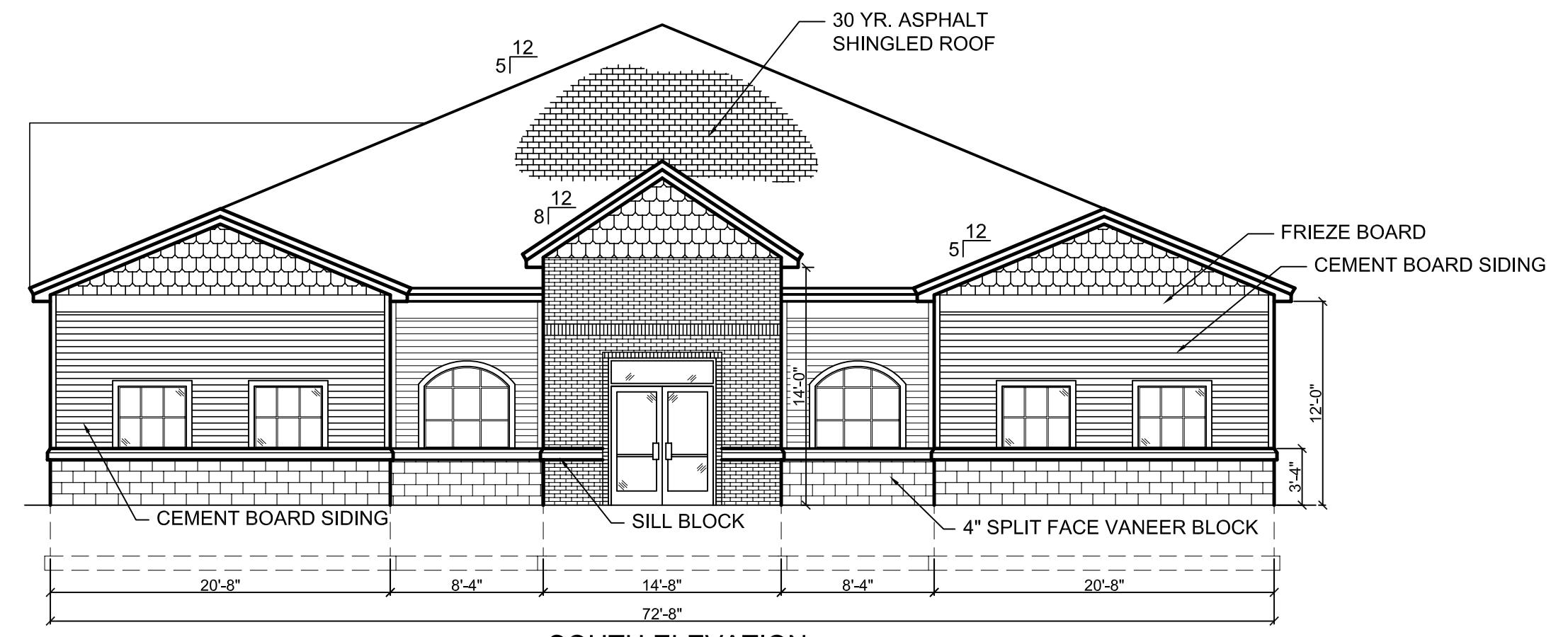
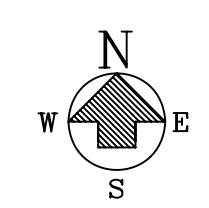
Signature of Owner (if other than applicant) Date

PLEASE PLACE OUR REVIEW ON THE May 2019 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You
will not receive a reminder of the scheduled meeting.

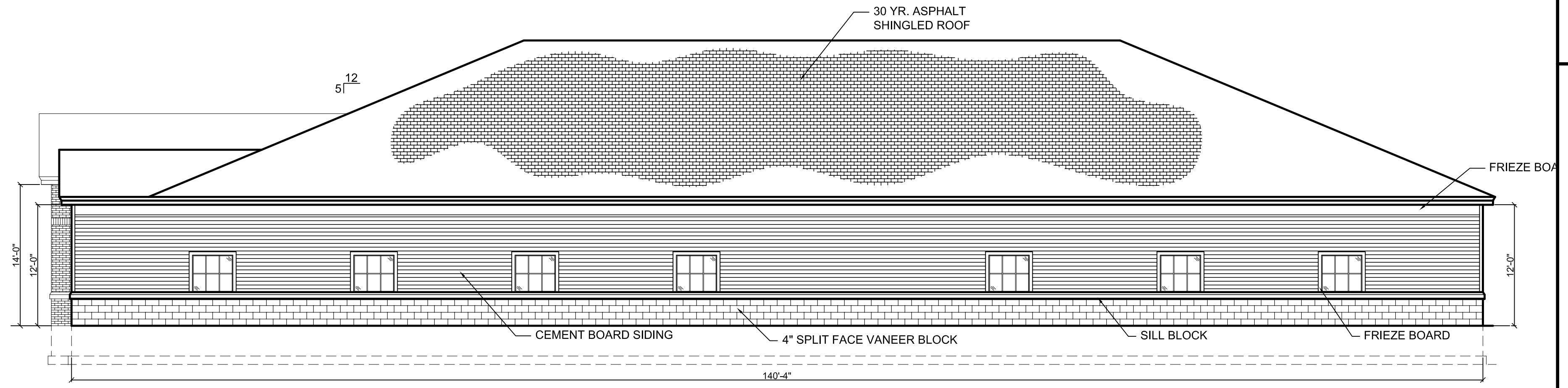


- FIRE EXTINGUISHERS**
- FE FIRE EXTINGUISHER WITH NO CABINET
 - FEC FIRE EXTINGUISHER WITH CABINET
- WALL TYPES**
- 2X6 LOAD BEARING WALL
 - SOUND BATT INSULATION IN WALLS

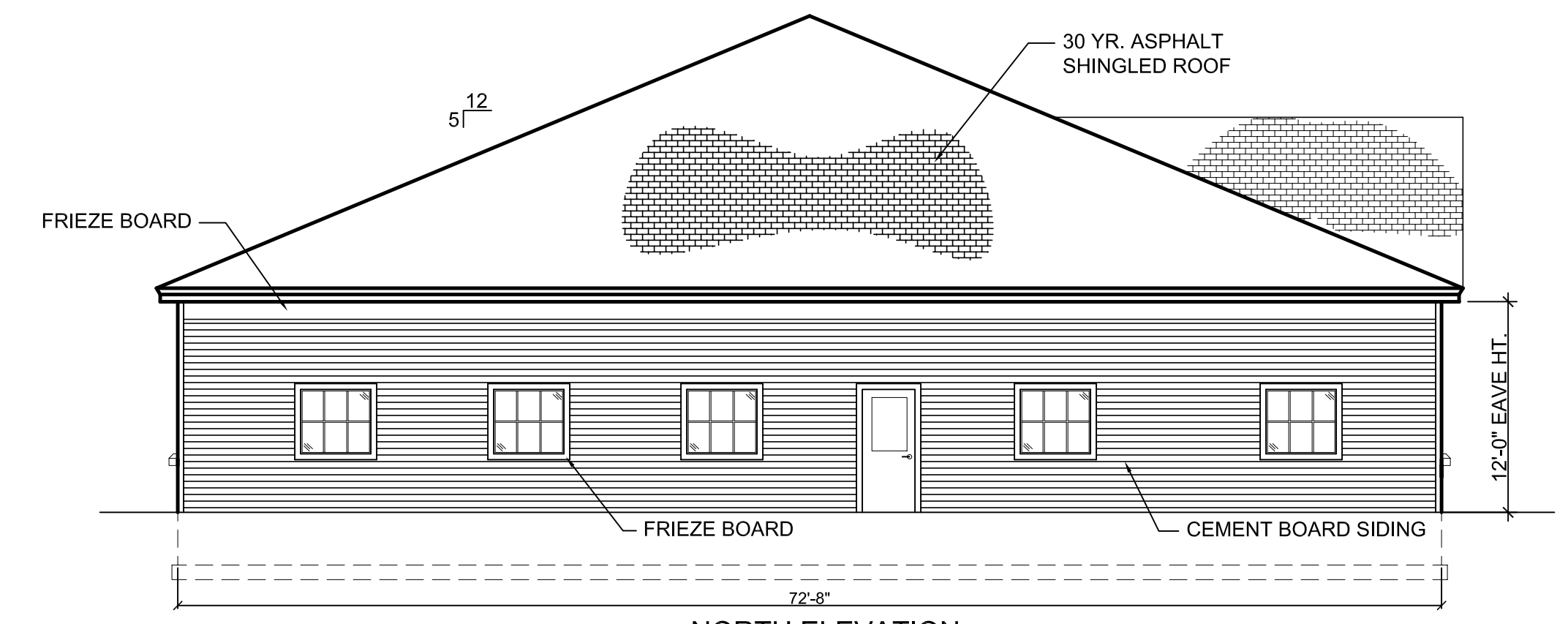
FLOOR PLAN
SCALE: 1/8" = 1'-0"



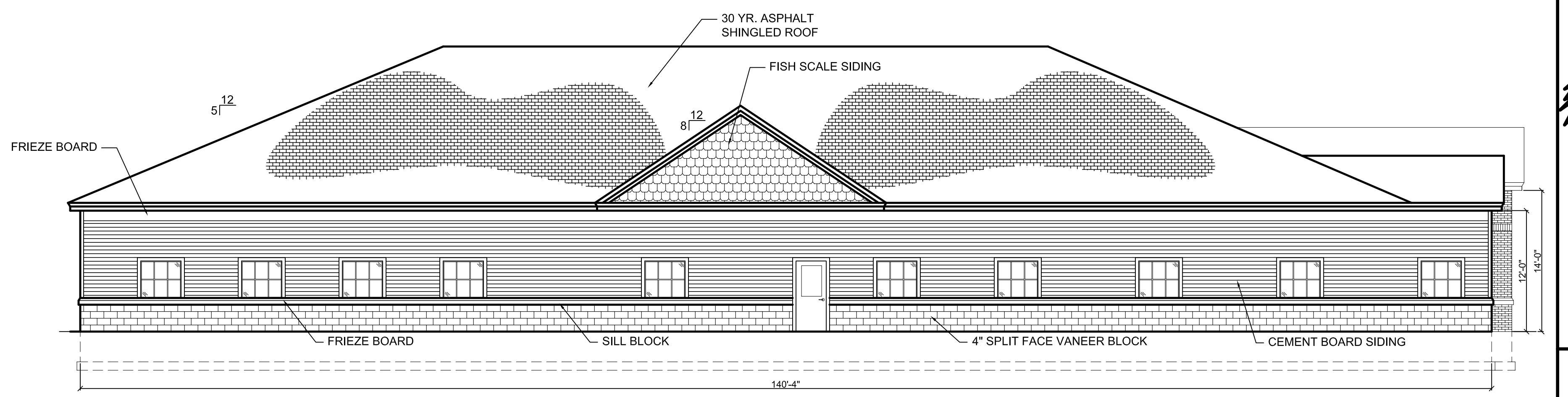
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXHIBIT #4"D"



3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
FOR THE LOCATION OF
UNDERGROUND FACILITIES

REVISIONS		
TAG:	DATE:	CHANGE:

JBS JOB NUMBER: 1008
DRAWING NAME: FLOOR PLAN & ELEVATIONS
DRAWN BY: MLR
REVIEWED BY:
FIELD SUPERVISOR:
DATE: 06/07/2010

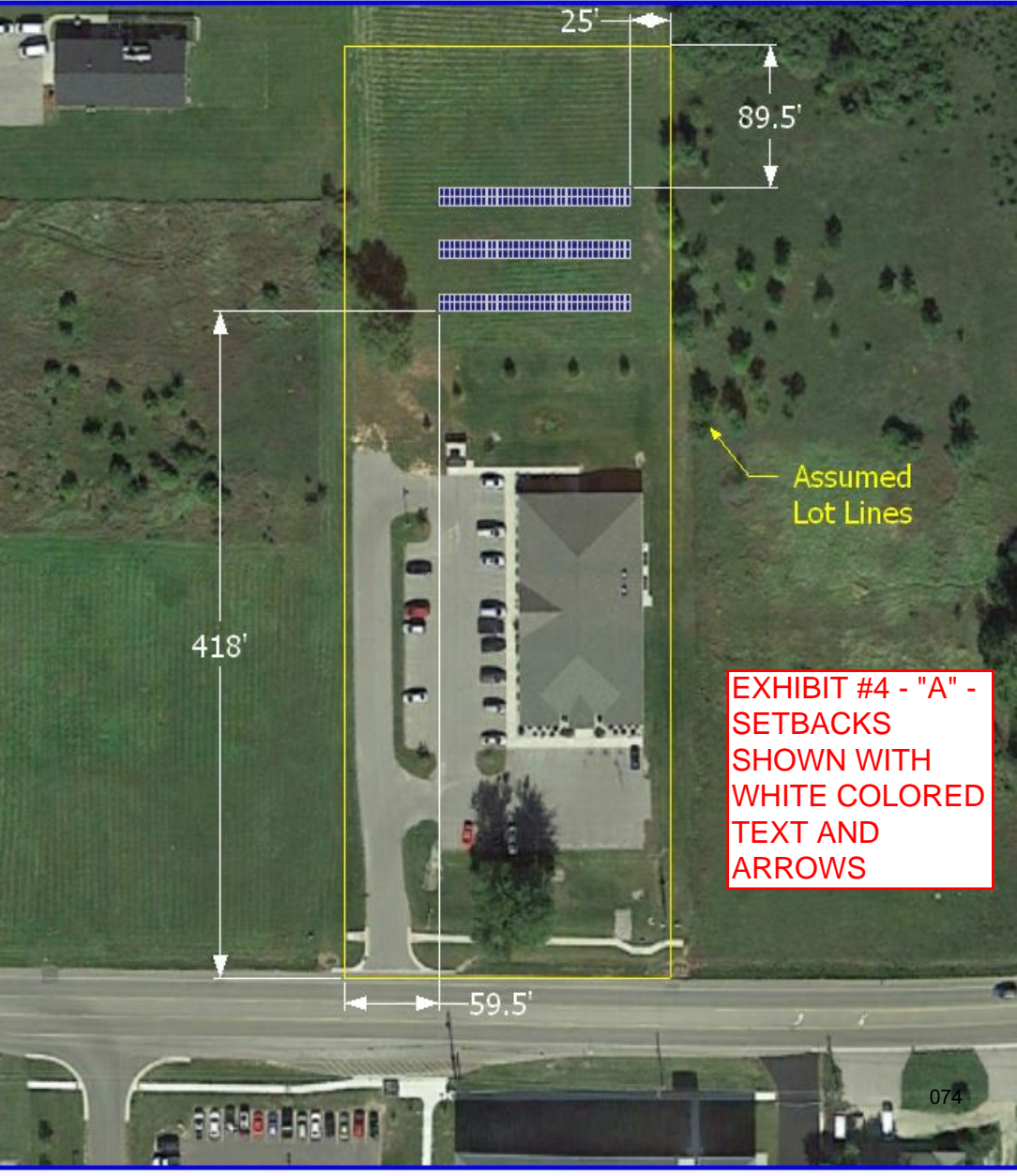
MICHIGAN WORKS
MT. PLEASANT, MI

COMMERCIAL/INDUSTRIAL
CONSTRUCTION

JBS Contracting Inc.
1680 GOVER PARKWAY
MT. PLEASANT, MI 48858
PH: (989) 775-0770
FAX: (989) 772-9772

SCALE:
1/8" = 1'-0"

A1
MICHIGAN WORKS



25'

89.5'

418'

59.5'

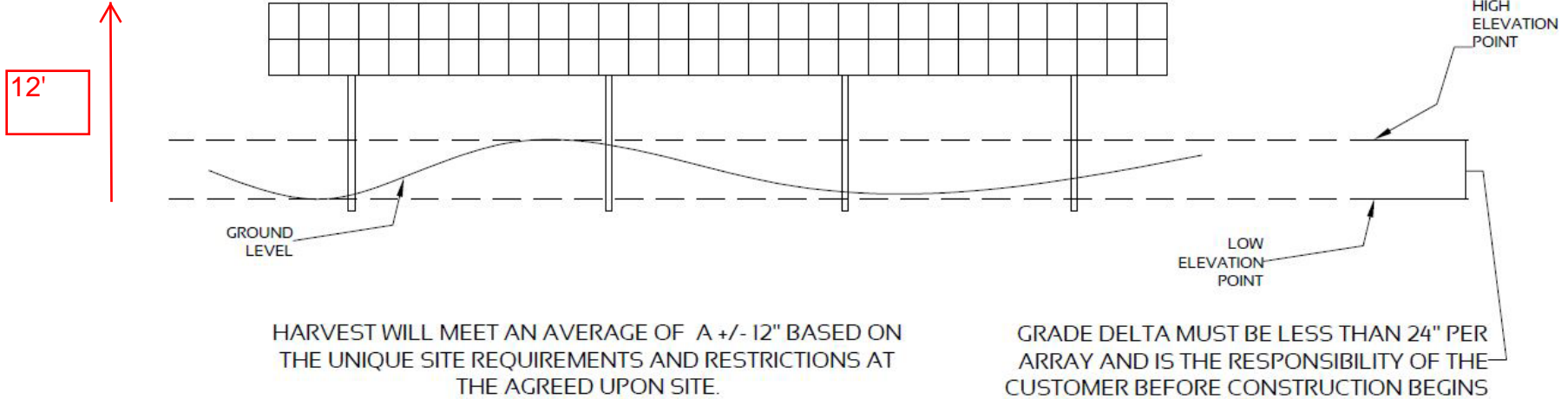
Assumed Lot Lines

EXHIBIT #4 - "A" -
SETBACKS
SHOWN WITH
WHITE COLORED
TEXT AND
ARROWS

EXHIBIT #4 "B"

Grading Variance Diagram

HARVEST ENERGY SOLUTIONS CONSTRUCTION GRADING REQUIREMENTS



Harvest Energy Solutions
Ryan Smith A - Lone Maple Development, LLC
January 24, 2019

Initials RS

ID 3525-6A 11

EXHIBIT #4 - "C"

Arrays of 72 Modules
216 Modules at 340W
73,440 W or 73.44 kW

120'

78'

Inverters and Pv Sub Panel
Located at the Array

250' of Pipe, Wire and Trench

Billing Meter, AC DG Disconnect
Tap Box, Existing Service Panel, Utility Gen Meter,
and Interconnection Location



EXHIBIT #5

GENERATOR INTERCONNECTION APPLICATION
Category 2 (Combined)

**For All Projects with Aggregate Generator Output of
 More Than 20 kW but Less Than or Equal to 150 kW**

Also Serves as Application for Category 2 Net Metering

(Note: Category 2 Net Metering Program only available to Renewable Generator Projects)

ELECTRIC UTILITY CONTACT INFORMATION		FOR OFFICE USE ONLY	
Consumers Energy Interconnection Coordinator 1945 West Parnall Road (Room P14-205) Jackson, MI 49201 (517)788-1432 Net Metering E-mail: net_metering@cmsenergy.com		Application Number: INT-03890 Tracking #: CE 19-00376 SAP Notification #: Date and Time Application Received 3/22/2019	
CUSTOMER / ACCOUNT INFORMATION			
Electric Utility Customer Information (As shown on utility bill)			
Customer Name (Last, First, Middle) Ryan Smith	Customer Mailing Address 325 Enterprise Dr., Breckenridge MI 48615		
Customer Phone Number (989) 708-6850	Customer E-mail Address (Optional) ryan@geminicapitalmgt.com		
Electric Service Account Number 1000 5495 4530	Electric Service Meter Number 20000642		
Are you applying for the Net Metering Program? (Yes/No) Yes	Are you interested in selling Renewable Energy Credits (REC's)?(Yes/No) Yes		
Will you have an Alternative Electric Supplier? (Yes/No) No If Yes, Name			
Notes: Enter name ONLY if your energy is supplied by a 3 rd party, not the utility. You must apply to both the Distribution Utility and your Alternate Energy Provider (if applicable) for Net Metering			
GENERATION SYSTEM SITE INFORMATION			
Physical Site Service Address (If Not Billing Address) 5889 E Broadway St., Mt Pleasant MI 48858			
Annual Site Requirements Without Generation in kWh 94000 kWh/year	Peak Annual Site Demand in kW (only for customers billed on Demand Rates) kW		
Desired method of providing Consumers Energy with the required attachments (Site Plan, Electrical One-Line Drawing) : I will mail them in			
<i>Please reference pages 5-8 for sample documents</i>			
GENERATION SYSTEM MANUFACTURER INFORMATION			
System Type (Solar, Wind, Biomass Methane Digester, etc.) Solar	Generator Type (Inverter, Induction, Synchronous) Inverter		
Total Generator(s) Nameplate DC Rating (Solar Only) 73.44 kW	Total Generator(s) Nameplate AC Rating 68.4 kW		
A.C. Operating Voltage 240	Wiring Configuration (Single Phase, Three Phase) Single Phase		
Expected Annual Output in Kilowatt Hours 92000 kWh/year	Is the Inverter tested to IEEE 1547.1? Yes		
INVERTER GENERATOR - BASED SYSTEMS			
Manufacturer Fronius	Model (Name/Number) Primo	Inverter Power Rating (kW) 11.4 kW	Number of Inverters 6

SYNCHRONOUS AND INDUCTION GENERATOR - BASED SYSTEMS
(Must complete either Page 3 or Page 4 and attach Electrical One-Line Drawing)

The following information on these system components shall appear on the Electrical One-Line Drawing:

- Breakers – Rating, location and normal operating status (open or closed)
- Buses – Operating voltage
- Capacitors – Size of bank in Kvar
- Circuit Switchers – Rating, location and normal operating status (open or closed)
- Current Transformers – Overall ratio, connected ratio
- Fuses – Normal operating status, rating (Amps), type
- Generators – Capacity rating (kVA), location, type, method of grounding
- Grounding Resistors – Size (ohms), current (Amps)
- Isolating Transformers – Capacity rating (kVA), location, impedance, voltage ratings, primary and secondary connections and method of grounding
- Potential Transformers – Ratio, connection
- Reactors – Ohms/phase
- Relays – Types, quantity, IEEE device number, operator lines indicating the device initiated by the relays
- Switches – Location and normal operating status (open or closed), type, rating
- Tagging Point – Location, identification

Manufacturer	Model Name	Model Number
--------------	------------	--------------

INSTALLATION INFORMATION

Project Single Point of Contact: (Electric Utility Customer, Developer or Other)

Name Ken Zebarah	Company (If Applicable) Harvest Energy Solutions	Phone Number 17347900673
---------------------	---	-----------------------------

E-mail Address kzebarah@harvestenergysolutions.com	Requested in Service Date 4/12/2019
---	--

Licensed Contractor(Name of Firm or Self)

Contractor Name (Last, First, MI)	Contractor Phone Number	Contractor E-mail
-----------------------------------	-------------------------	-------------------

CUSTOMER AND PROJECT DEVELOPER/CONTRACTOR SIGNATURES AND FEES

I agree to mail a check in the amount of \$100.00 for the processing my Net Metering application

Check/Money Order #'s

- I declare under the penalty of perjury, to the best of my knowledge, all the information provided in this application form is complete and correct.
- I understand Consumers Energy is not obligated to begin reviewing my application until payment and completed application including attachments has been received
- I understand that by providing an email for a system installer or designer, they will be copied on all communications related to this application including my eligibility regarding a satisfactory payment history.

Customer Signature Ryan Smith

Note: Refer to the applicable "Michigan Electric Utility Generator Interconnection Requirements" for a detailed explanation of the Interconnection Process, Fees, Timelines, and Technical Requirements.

SYNCHRONOUS GENERATORS

GENERATOR INFORMATION

Generator Nameplate Voltage	Generator Nameplate Watts or Volt-Amperes
Generator Nameplate Power Factor (pf)	RPM

TECHNICAL INFORMATION

Minimum and Maximum Acceptable Terminal Voltage	Direct Axis Sub-Transient Reactance (saturated)
Direct Axis Reactance (saturated)	Direct Axis Sub-Transient Reactance (unsaturated)
Direct Axis Reactance (unsaturated)	Leakage Reactance
Quadrature Axis Reactance (unsaturated)	Direct Axis Transient Open Circuit Time Constant
Direct Axis Transient Reactance (saturated)	Quadrature Axis Transient Open Circuit Time Constant
Direct Axis Transient Reactance (unsaturated)	Direct Axis Sub-Transient Open Circuit Time Constant
Quadrature Axis Transient Reactance (unsaturated)	Quadrature Axis Sub-Transient Open Circuit Time Constant
Open Circuit Saturation Curve	
Reactive Capability Curve Showing Overexcited and Underexcited Limits (Reactive Information if Non-Synchronous)	
Excitation System Block Diagram with Values for Gains and Time Constants (Laplace Transforms)	
Short Circuit Current Contribution From Generator at the Point of Common Coupling	
Rotating Inertia of Overall Combination Generator, Prime Mover, Couplers and Gear Drives	
Station Power Load When Generator is Off-Line, Watts, pf	
Station Power Load During Start-Up, Watts, pf	
Station Power Load During Operation, Watts, pf	

INDUCTION GENERATORS**GENERATOR INFORMATION**

Generator Nameplate Voltage	Generator Nameplate Watts or Volt-Amperes
Generator Nameplate Power Factor (pf)	RPM

TECHNICAL INFORMATION

Synchronous Rotational Speed	Stator Resistance
Rotation Speed at Rated Power	Stator Reactance
Slip at Rated Power	Rotor Reactance
Minimum and Maximum Acceptable Terminal Voltage	Magnetizing Reactance
Motoring Power (kW)	Short Circuit Reactance
Neutral Grounding Resistor (If Applicable)	Exciting Current
½ 2t or K (Heating Time Constant)	Temperature Rise
Rotor Resistance	Frame Size

Design Letter

Reactive Power Required in Vars (No Load)

Reactive Power Required in Vars (Full Load)

Short Circuit Current Contribution from Generator at the Point of Common Coupling

Rotating Inertia, H in Per Unit on kVA Base, of Overall Combination Generator, Prime Mover, Couplers and Gear Drives

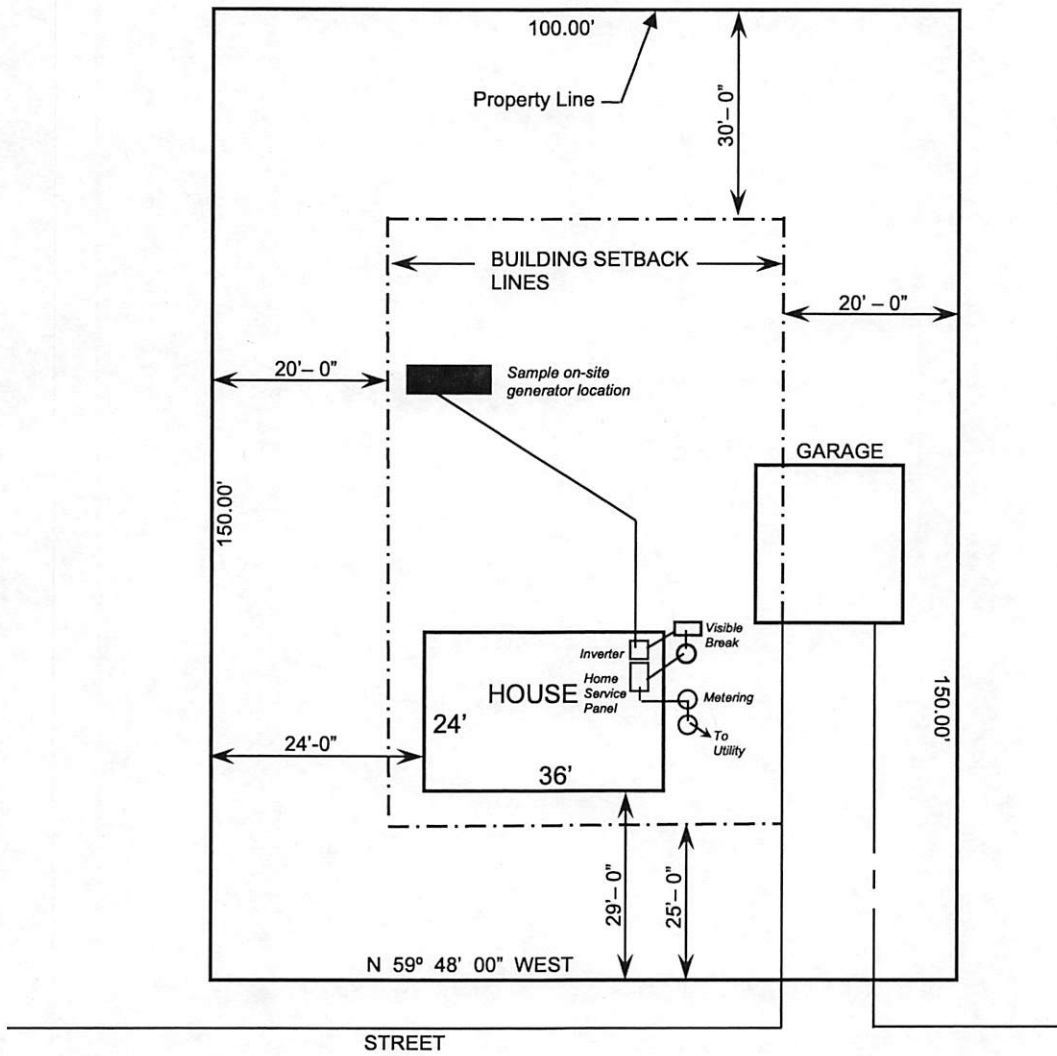
Station Power Load When Generator is Off-Line, Watts, pf

Station Power Load During Start-Up, Watts, pf

Station Power Load During Operation, Watts, pf

SAMPLE SITE PLAN – PROVIDED FOR REFERENCE ONLY

SITE PLAN	
Applicant	
Project Site Address	
City/Town	
Site Plan Prepared By	
Prepared Date	



Weblink to State of Michigan / Plats:

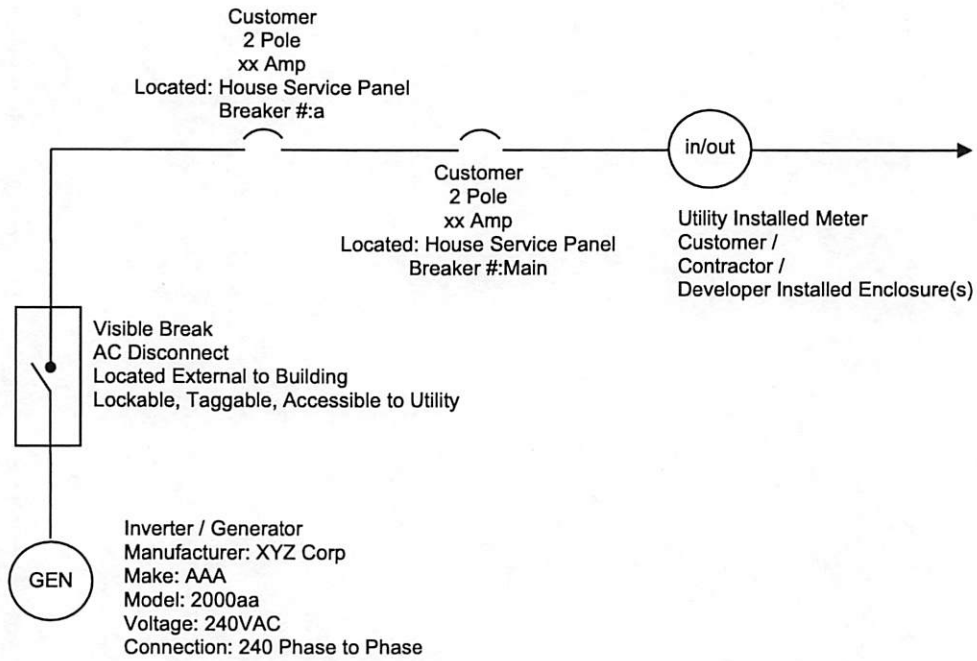
http://www.cis.state.mi.us/platmaps/sr_subs.asp

Note: Legible hand drawn site plans are acceptable.

SAMPLE ELECTRICAL ONE-LINE DRAWING – PROVIDED FOR REFERENCE ONLY

NET METERING INVERTER - BASED GENERATOR

ONE-LINE DRAWING	
Customer Name	Licensed PE/Contractor (if applicable)
Project Site Address	Electrical Contractor License Number
Licensed PE/Contractor Signature	Date

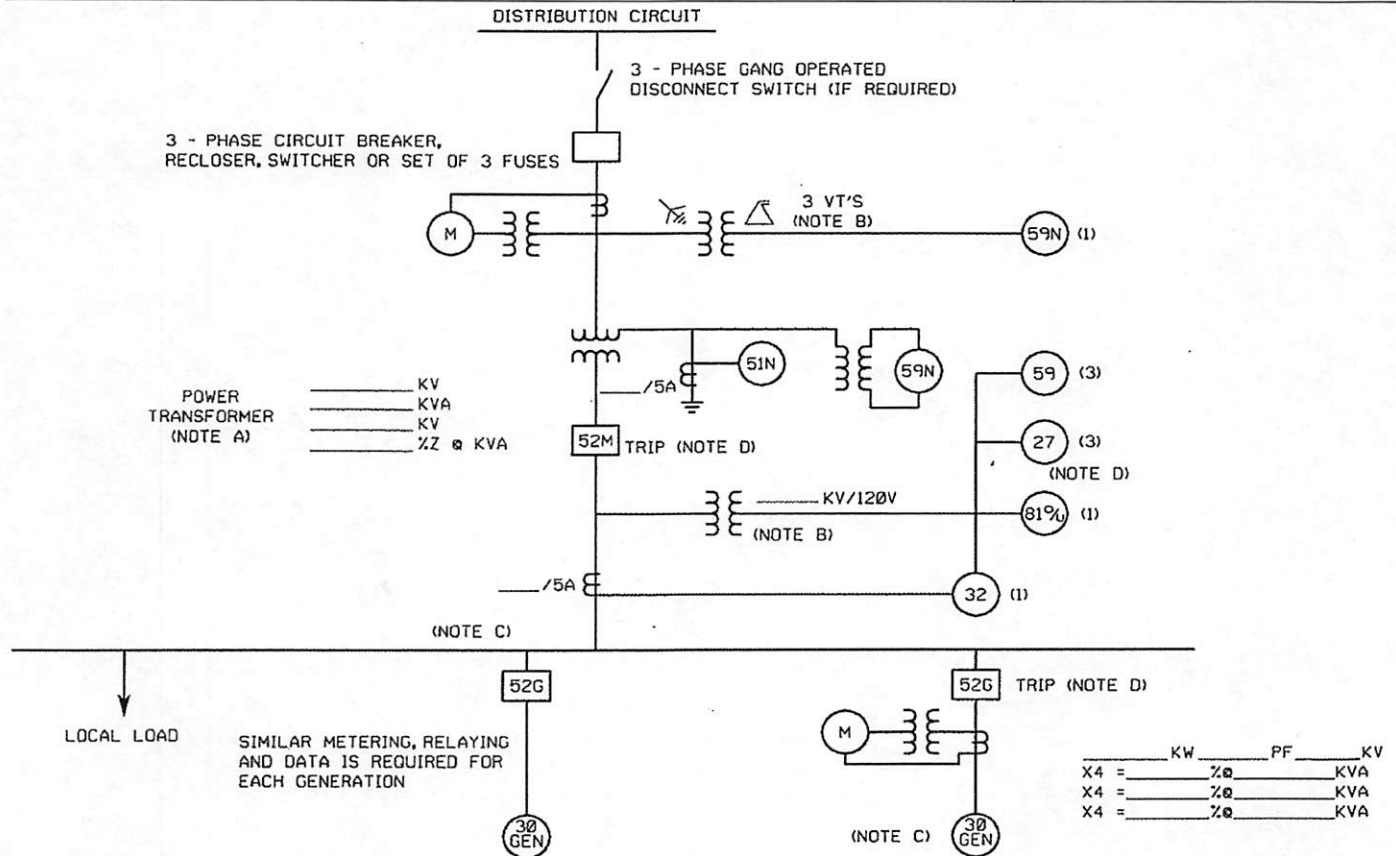


Note: Legible hand drawn one-line drawings are acceptable. It must be signed and sealed by a Licensed Professional Engineer, licensed in the State of Michigan or by an electrical contractor licensed by the State of Michigan.

SAMPLE ELECTRICAL ONE-LINE DRAWING – PROVIDED FOR REFERENCE ONLY

TYPICAL ISOLATION AND FAULT PROTECTION FOR SYNCHRONOUS GENERATOR INSTALLATIONS

ONE-LINE DRAWING	
Customer Name	Licensed PE/Contractor (if applicable)
Project Site Address	Electrical Contractor License Number
Licensed PE/Contractor Signature	Date



LEGEND

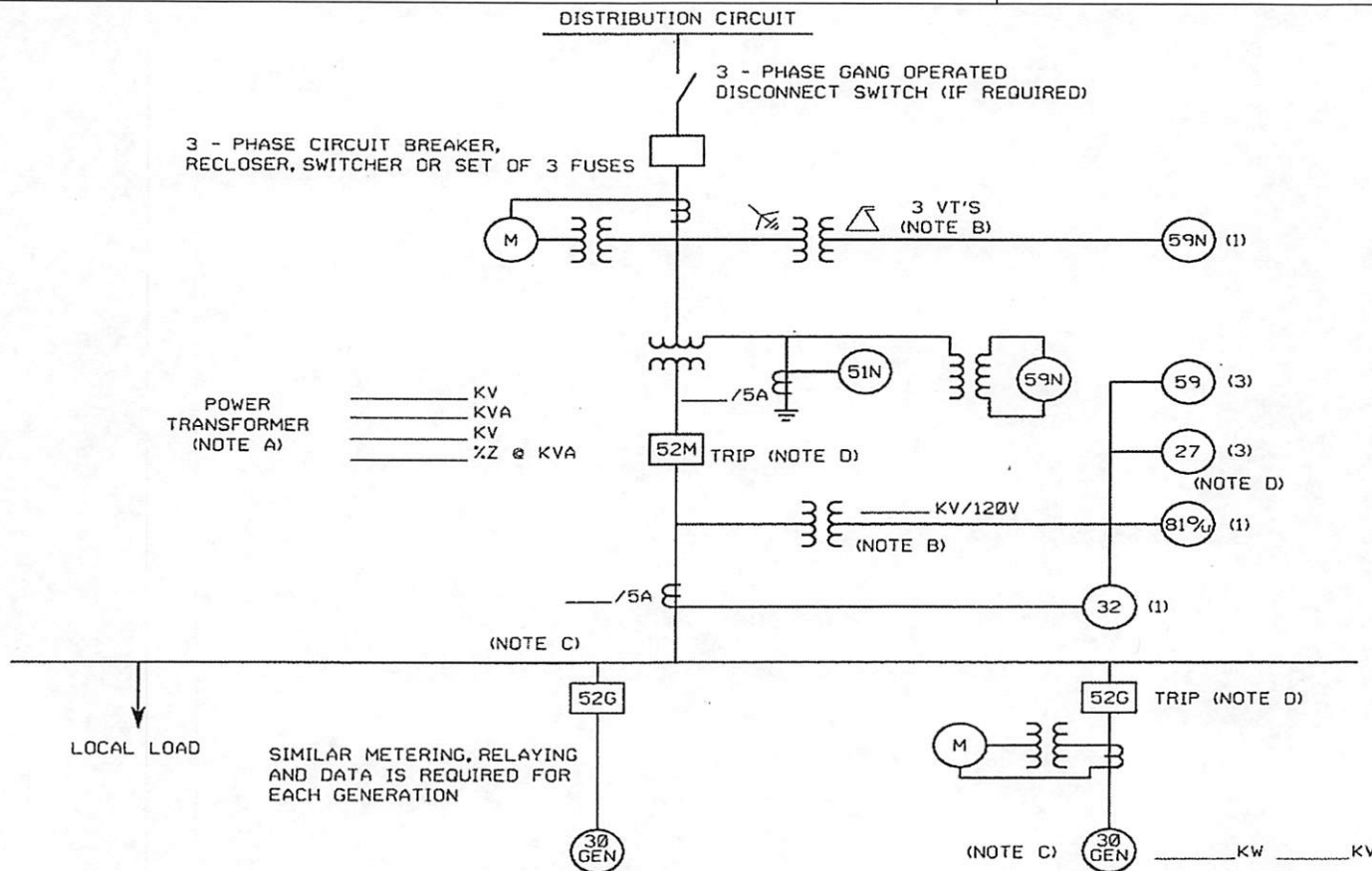
- 27 Undervoltage
- 32 Reverse Power (Not Required for Flow-Back)
- 51N Neutral overcurrent (required for grounded secondary)
- 59 Overvoltage
- 59N Zero sequence overvoltage (assuming ungrounded secondary on power transformer)
- 81o/u Over/Underfrequency

NOTES

- A) See technical requirements for permissible connection configurations and protection. Transformer connections proposed shall be shown on the one-line drawing by the Project Developer. Transformer connection and secondary grounding to be approved by Utility.
- B) Protection alternatives for the various acceptable transformer connections are shown. Only one protection alternative will ultimately be used, depending on the actual transformer winding connections. VT's for 59, 27, 81o/u and 32 are shown connected on the primary (Project side) of the power transformer, but may instead be connected on the secondary (Utility side). VT's are required on the secondary of the power transformer if a 59N is required for an ungrounded secondary connection. IEEE std 1547 requirements for voltage and frequency must be met at the PCC. IEEE Std. 1547 permits the VT's to be connected at the point of generator connection in certain cases.
- C) Main breaker protection, generator protection and synchronizing equipment are not shown.
- D) Trip of all 52G breakers or the 52M breaker is acceptable, depending upon whether the Project Developer wants to serve its own isolated load after loss of Utility service.
- E) One-line drawing must be signed and sealed by a Licensed Professional Engineer, licensed in the State of Michigan or by an electrical contractor licensed by the State of Michigan.

**SAMPLE ELECTRICAL ONE-LINE DRAWING – PROVIDED FOR REFERENCE ONLY
TYPICAL ISOLATION AND FAULT PROTECTION FOR INDUCTION GENERATOR**

ONE-LINE DRAWING	
Customer Name	Licensed PE/Contractor (if applicable)
Project Site Address	Electrical Contractor License Number
Licensed PE/Contractor Signature	Date



LEGEND

- 27 Undervoltage
- 32 Reverse Power (Not Required for Flow-Back)
- 51N Neutral overcurrent (required for grounded secondary)
- 59 Overvoltage
- 59N Zero sequence overvoltage (assuming ungrounded secondary on power transformer)
- 81o/u Over/Underfrequency

NOTES

- A) See technical requirements for permissible connection configurations and protection. Transformer connections proposed shall be shown on the one-line drawing by the Project Developer. Transformer connection and secondary grounding to be approved by Utility.
- B) Protection alternatives for the various acceptable transformer connections are shown. Only one protection alternative will ultimately be used, depending on the actual transformer winding connections. VT's for 59, 27, 81o/u and 32 are shown connected on the primary (Project side) of the power transformer, but may instead be connected on the secondary (Utility side). VT's are required on the secondary of the power transformer if a 59N is required for an ungrounded secondary connection. IEEE std 1547 requirements for voltage and frequency must be met at the PCC. IEEE Std. 1547 permits the VT's to be connected at the point of generator connection in certain cases.
- C) Main breaker protection, generator protection and synchronizing equipment are not shown.
- D) Trip of all 52G breakers or the 52M breaker is acceptable, depending upon whether the Project Developer wants to serve its own isolated load after loss of Utility service.
- E) One-line drawing must be signed and sealed by a Licensed Professional Engineer, licensed in the State of Michigan or by an electrical contractor licensed by the State of Michigan.

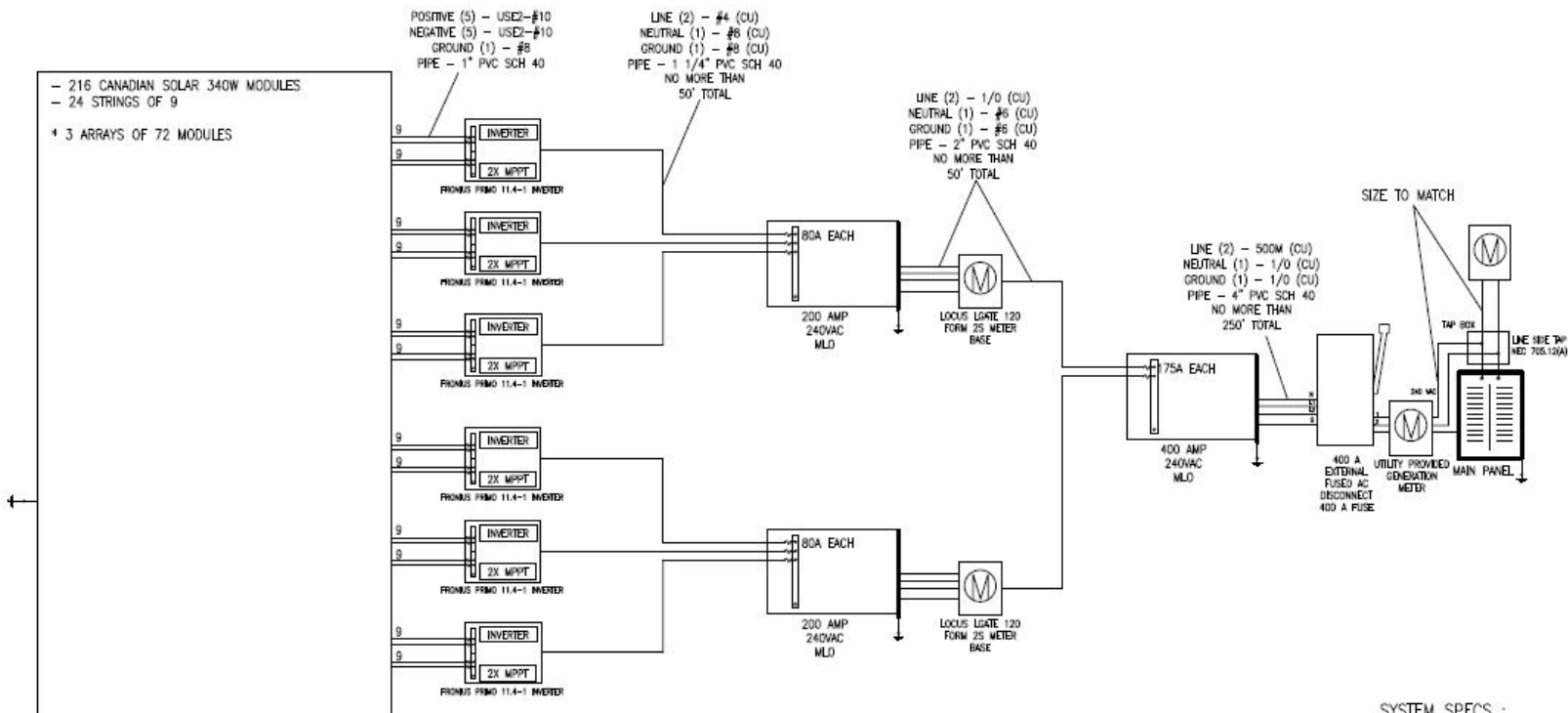
System Specifications

Photovoltaic System Specification Sheet	
Ryan Smith A - Lone Maple Development, LLC	
5889 E Broadway St.	
Mt. Pleasant, MI 48858	
Latitude	43.6049°N
Longitude	84.7295°W
Array Azimuth	180° True South
System Type	Fixed Array - 2 high Driven Post
System Footprint	78' x 120' or 9360 sq. ft.
Array Orientation	Portrait
Tilt (Degrees)	35° from Horizontal
System Size (DC)	73.44 kW
System Losses	14.49%
Inverter Efficiency	96.00%
Racking System	Harvest Energy Solutions
Module Type	Canadian Solar 340W
Inverter	Fronius Primo 11.4-1
Number of Sub-Arrays	3
Number of Modules per Sub-Array	72
Total Number of Modules	216
Number of Modules per String	9
Phase	240VAC Single Phase
Maximum Continuous System Current	285.00 Amps

System Design By:
Harvest Energy Solutions

One Line Drawing

73.44 KW DC SOLAR GENERATOR ONE-LINE DIAGRAM



SYSTEM SPECS :
 240 VAC SINGLE PHASE
 73,440 W DC
 285.00 MAXIMUM CONTINUOUS AMPS
 216 - CANADIAN SOLAR 340W MODULES
 6 - FRONIUS PRIMO 11.4-1 INVERTERS

- EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH NEC ARTICLE 705.
- PROVIDE WARNING SIGN PER NEC 690-17 READING "WARNING-ELECTRIC SHOCK HAZARD-DO NOT TOUCH TERMINALS - TERMINALS ON BOTH THE LINE AND LOAD MAY BE ENERGIZED IN THE OFF POSITION".
- LABEL "SOLAR POWER SYSTEM DEDICATED KW-HR METER", OPTIONAL.
- LABEL SWITCH AS "PV GENERATOR SAFETY DISCONNECT SWITCH".
- USE APPROPRIATE WIRE GAUGE IF RUN FROM DISCONNECT TO INVERTER TO HOME IS > 200FT
- THIS DRAWING IS FOR REFERENCE
- VARIATIONS MAY BE MADE IN ACCORDANCE WITH NEC GUIDELINES

NO.	DATE	REV BY	APP'D BY	DESCRIPTION	DESIGN
WIRE COLOR CODING UNLESS OTHERWISE SPECIFIED:					
BLACK	HIGH VOLTAGE LINE AND LOAD				
RED	HIGH VOLTAGE LINE AND LOAD				
WHITE	A.C. NEUTRAL				
YELLOW	HIGH VOLTAGE LINE AND LOAD				
GREEN W/YELLOW	EARTH GROUND				
BLUE	D.C. VOLTAGE				
BLUE W/WHITE	D.C. RETURN				
GRAY	SHIELDED CABLES				
JUMPERS	GRANGE				
ALL WIRE SIGNALS TO BE RUN IN SHIELDED CABLES					
WIRE RATINGS WIRE MUST BE SIZED ACCORDING TO CURRENT LIMITING DEVICE OR COMPONENT CURRENT RATING.					
RATINGS FOR COPPER THIN OR MTW WIRE					
3/0 AWG - 200 AMPS	#12 AWG - 25 AMPS				
1/0 AWG - 150 AMPS	#14 AWG - 20 AMPS				
2 AWG - 100 AMPS	#16 AWG - 15 AMPS				
4 AWG - 75 AMPS	#18 AWG - 10 AMPS				
6 AWG - 50 AMPS	#20 AWG - 8 AMPS				
8 AWG - 35 AMPS	#22 AWG - 6 AMPS				
10 AWG - 25 AMPS	#24 AWG - 4 AMPS				
12 AWG - 20 AMPS	#26 AWG - 3 AMPS				
14 AWG - 15 AMPS	#28 AWG - 2 AMPS				
HARVEST ENERGY SOLUTIONS JACKSON, MICHIGAN					
DATE	DESIGN BY	APP'D BY	SIGNATURE		
11/28/2018	RTS	LPO	RYAN SMITH		
PROJECT	LONE MAPLE DEVELOPMENT LLC SOLAR PROJECT				
TITLE	73.44 KW SOLAR POWER ONE-LINE DIAGRAM				
REV	V3525	1	1	V3525-A REV A	

Harvest Energy Solutions
 Ryan Smith A - Lone Maple Development, LLC
 January 24, 2019

Initials RS

ID 3525-6A 12

EXHIBIT #7

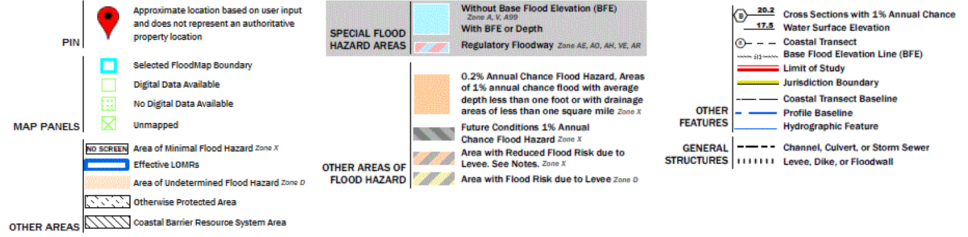


Exhibit A – Environmental Impact

According to the U.S. Energy Information Administration, energy-related carbon dioxide emissions account for an overwhelming 98% of all U.S. carbon dioxide emissions. Solar power is a clean and increasingly efficient alternative to power fueled by fossil fuels. By supporting photovoltaic technologies, you are reducing greenhouse gases, eliminating many poisonous air pollutants, and conserving the Earth’s natural resources.

This proposed PV system is estimated to output 96,881 kWh annually. Below is a visualization of the environmental impact of the system.

<u>This annual production is equivalent to:</u>		
Annual greenhouse gas emissions from:	14.3	passenger vehicles
	7663	Gallons of gas consumed
CO2 Emissions from:	159	Barrels of oil
CO2 emissions from the electricity use of:	10.2	Homes for one year
Carbon sequestered by:	1752	Tree seedlings grown for 10 years
Carbon sequestered annually by:	56.0	Acres of pine forest
Greenhouse gas emissions avoided by recycling:	25.5	Tons of waste instead of sending it to a landfill

Source: <http://epa.gov/cleanenergy/energy-resources/calculator.html>

AFFIDAVIT OF PUBLICATION

2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: KIM SMITH

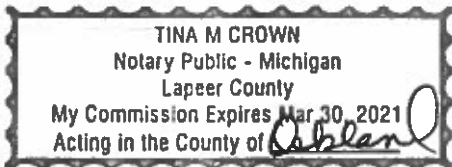
STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cyndy Slater Cyndy Slater, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun	05/07/19
morningstarpublishing.com	05/07/19



Sworn to the subscribed before me this 8th May 2019.

Tina M Crown

Notary Public, State of Michigan
Acting in Oakland County

Advertisement Information

Client Id: 531226

Ad Id: 1800368

PO:

Sales Person: 200301

UNION TOWNSHIP PUBLIC HEARING NOTICE - ZONING TEXT AMENDMENT

NOTICE is hereby given that a Public Hearing will be held on May 21, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following Zoning Ordinance Text Amendment:

Requested by: Lone Maple Development LLC Amend Section 8 (General Provisions) to allow Solar Energy Systems Regulations.

Legal Description of property: T14N R4W, SEC 13; COM N 88D57M505 W 483 FT FROM E 1/4 COR SEC 13; TH N 88D57M505 W 212 FT; TH N 0D23M505 W 660 FT; TH S 88D57M505 E 212 FT; TH S 0D23M505 E 660 FT TO POB 3.21 AC M/L

Property located at: 5889 E. Broadway MT PLEASANT, MI 48858

Any interested person may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner

Published: May 7, 2019

**UNION TOWNSHIP PUBLIC HEARING NOTICE -
ZONING TEXT AMENDMENT**

NOTICE is hereby given that a Public Hearing will be held on May 21, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following Zoning Ordinance Text Amendment:

Requested by: **Lone Maple Development LLC** Amend Section 8 (General Provisions) to allow Solar Energy Systems Regulations.

Legal Description of property: T14N R4W, SEC 13; COM N 88D57M50S W 483 FT FROM E 1/4 COR SEC 13; TH N 88D57M50S W 212 FT; TH N 0D23M50S W 660 FT; TH S 88D57M50S E 212 FT; TH S 0D23M50S E 660 FT TO POB 3.21 AC M/L

Property located at: 5889 E. Broadway MT PLEASANT, MI 48858

Any interested person may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner



REQUEST FOR TOWNSHIP BOARD ACTION

To: Mark Stuhldreher Township Manager	DATE: 06/19/2019
FROM: Peter Gallinat Township Planner	DATE FOR BOARD CONSIDERATION: 06/26/2019
ACTION REQUESTED: Move to approve SUB 2019-01 final plat review. Amending Plat of Village of Isabella City located at on River Rd. S.	

Current Action _____ Emergency _____

Funds Budgeted: If Yes _____ Account # _____ No _____ N/A X

Finance Approval _____

BACKGROUND INFORMATION

Recently the Township was named as a defendant in a petition for abandonment of certain roads located within the Village of Isabella City Plat located on River Rd. Part of this court case involved a court ordered amended new Plat for the Village of Isabella City Platt. Typically, the Township would have more authority in the planning of a Plat or the amending of an existing Plat. Due to the amendment being ordered by the Court the Township’s role is simply compare what was ordered to what is presented and approve.

On May 21, 2019 the Township Planning Commission conducted a preliminary plat review for SUB 2019-01. After careful deliberation the Planning Commission was satisfied with the preliminary plat and moved to approve the preliminary plat. The court ordered final plat amendment was reviewed by the Planning Commission on June 18, 2019. The final plat is now before the Township Board to approve before the plat is sent to the State of Michigan for approval. There have been no changes to the plat from the preliminary review to the final review. The plat is identical to the one ordered by the court.

SCOPE OF SERVICES

N/A

JUSTIFICATION

The Planning Commission reviewed and approved SUB 2019-01 Preliminary Plat at the May 21, 20-19 Planning Commission meeting. The Township Board reviewed and approved the Preliminary Plat on June 12, 2019. The Planning Commission recommended approval of the Court ordered Final Plat on June 18· 2019.

PROJECT IMPROVEMENTS

The following Board of Trustees goal is addressed with this request.

1. Commerce

COSTS
N/A

PROJECT TIME TABLE

Approving a plat requires 4 meetings. First there is a preliminary plat review held at the Planning Commission and then a preliminary plat review held at the Board of Trustees. Following these preliminary reviews, the applicant returns to both the Planning Commission and the Board of Trustees for a final plat review and approval.

RESOLUTION

Authorization is hereby given to approve SUB 2019-01 Final Plat Amended Plat of Village of Isabella City. Four Hacks LLC located at River Rd.

Resolved
by _____

Seconded
by _____

Yes:

No:

Absent:

Received
ISABELLA COUNTY, MI
04-25-2019 07:59 am

**STATE OF MICHIGAN
IN THE ISABELLA COUNTY TRIAL COURT**

201900003107
Filed for Record in
ISABELLA COUNTY, MI
KAREN R. JACKSON"
04-25-2019 At 08:05:28 am.
JUDGEMENT 30.00
Liber 1845 Page 22 - 48

FOUR HACKS, LLC,
a Michigan Limited Liability Company,

201900003107
MHOK
PICK UP

Plaintiff,

v

Case No: 18-15217 -CZ
Honorable Paul H. Chamberlain

UNION TOWNSHIP, a Michigan Township;
ROBERT WILLOUGHBY, Isabella County Drain
Commissioner; JOHN GRAHAM, Chairperson
Board of Isabella County Road Commission;
SHELLY EDGERTON, Director, Michigan Department
of Licensing & Regulatory Affairs, f/k/a Michigan
Department of Energy, Labor & Economic Growth;
KIRK T. STEUDLE, Director, Michigan Department
of Transportation; KEITH CREAGH, Director,
Michigan Department of Natural Resources;
CONSUMERS ENERGY COMPANY, a/k/a
CONSUMERS POWER COMPANY, a Michigan
Corporation; DTE GAS COMPANY, a/k/a
MICHIGAN CONSOLIDATED GAS COMPANY,
a Michigan Corporation; MEMORIAL GARDENS OF
MT. PLEASANT, a MICHIGAN CORPORATION;
KATHY WOODBURY, an unmarried woman, a/k/a
KATHY POSCHEN; ALVIE HAYNES AND HEATHER
HAYNES, husband and wife; CHEMICAL BANK
AND TRUST COMPANY, a Michigan Corporation;
MICHIGAN LAND BANK FAST TRACK AUTHORITY;
LYLE B. KELLER; KTE PROPERTIES LLC, a Michigan
Limited Liability Company; ISABELLA BANK, a Michigan
Banking Corporation; ROBERT PAUL, SR. AND
NIVIA L. PAUL, husband and wife; CSC DEVELOPMENT,
LLC, a Michigan Limited Liability Company; CHRISTINA
L. DART; JOHN E WEJROWSKI, a single man; LARRY
LINN PIERSON AND MARJORIE JO PIERSON, husband
and wife; MERS, a Delaware Corporation; TRANEX
FINANCIAL, INC., a Michigan Corporation; FREEDOM
MORTGAGE CORPORATION; MICHIGAN HOMEOWNER
ASSISTANCE NONPROFIT HOUSING CORPORATION;
JACK L. MCBRIDE, TRUSTEE OF THE JACK L. MCBRIDE
REVOCABLE LIVING TRUST DATED JANUARY
6, 2010; JIM SHA HOLDING, LLC, a Michigan LLC;
RICHARD HAYNES AND JANET HAYNES, husband

**JUDGMENT TO
VACATE PART OF
A RECORDED PLAT**

**I CERTIFY THAT THIS IS A CORRECT
AND COMPLETE DOCUMENT FROM THE
ORIGINAL COURT RECORDS NOW
REMAINING IN MY OFFICE**

Mindé B. Lux 4-24-19
Mindé B. Lux Date
Isabella County Clerk

FILED

APR 24 2019

COUNTY CLERK
ISABELLA COUNTY
MT. PLEASANT, MICH.

and wife; MERCANTILE BANK OF MICHIGAN;
THE ROSARY; JUDITH A. ALBRECH, a single
woman; NEW EXECUTIVE MORTGAGE LLC, a
Michigan LLC; PAMELA L. GRAY, a single woman;
FIRSTBANK, a Michigan Banking Corporation;
MICHAEL V. THEUNISSEN AND CHRIS W.
THEUNISSEN, TRUSTEES OF THE REVOCABLE
TRUST AGREEMENT FOR WILLIAM VZ
THEUNISSEN AND DOROTHY V THEUNISSEN
DATED OCTOBER 23, 1996; ISABELLA COUNTY
CONDOMINIUM PLAN NO. 23, a/k/a COUNTY
CLUB EAST CONDOMINIUM;
JOANNE H CHAPPELL-THEUNISSEN,
a married woman; FIRSTBANK MORTGAGE
COMPANY, a Michigan Banking Corporation;
WILLIAM F. SOWLE, JR. AND WILLIAM F. SOWLE III,
CO-TRUSTEES UNDER THE MARGARET ANN
SOWLE FAMILY TRUST; WILLIAM LEMCKE
AND LOIS A. LEMKE, husband and wife;
ISABELLA COMMUNITY CREDIT UNION;
ISABELLA COUNTY CONDOMINIUM
SUBDIVISION PLAN NO. 22, a/k/a COUNTY
CLUB WEST CONDOMINIUM; WALTER R.
SHCNEIDER, a single man; UNDER PAR INVESTMENT
GROUP, LLC, a Michigan LLC; MOUNT PLEASANT
COUNTRY CLUB; GAS REAL ESTATE INVESTMENTS,
LLC; FRANK E. EPPLE, TRUSTEE OF THE FRANK E.
EPPLE REVOCABLE LIVING TRUST DATED
NOVEMBER 5, 2004; H. PAUL DEYOUNG AND
MARILYN DEYOUNG, husband and wife;
JULIE B. YOON AND SUNG K. YOON, wife and
husband; WILLIAM R. COOK AND JONEIL R. COOK,
husband and wife; STEVEN M. WIECZOREK, TRUSTEE
OF THE REVOCABLE TRUST AGREEMENT OF
STEVEN M. WIECZOREK DATED DECEMBER 10,
2013; JOSEPH E. GALGOCI AND CHARLOTTE R.
GALGOCI, husband and wife; HERBERT L. WYBNEGA
AND JUDY WYBENGA, husband and wife; MICHIGAN TOLEDO
PIPELINE CO.; WOLVERINE PIPELINE COMPANY,
a Delaware Corporation,

Defendants.

MARY ANN O'NEIL (P49063)
PAUL A. BLANCO (P68712)
MARTINEAU, HACKETT, O'NEIL
& KLAUS, PLLC
Attorneys for Plaintiff
555 N. Main Street
Mt. Pleasant, MI 48858
(989) 773-9961

DANIELLE ALLISON-YOKOM (P70950)
Michigan Dept. of Attorney General
Attorney for Defendants: MI Dept. of Licensing and
Regulatory Affairs (LARA); MI Dept. of
Transportation (MDOT); MI Dept. of Natural
Resources (DNR); MI Land Bank Fast Track
Authority
525 W. Ottawa Bldg., P.O. Box 30755
Lansing, MI 48909
(517) 335-7540

JASON M. MILSTONE (P53769)
Attorney for Defendant
Consumers Energy Company
One Energy Plaza
Jackson, MI 49201
(517) 788-1188

LELAND PRINCE (P30686)
Attorney for Defendant
DTE Gas Company
One Energy Plaza
Detroit, MI 48226
(313) 235-7725
Leland.prince@dteenergy.com

MATTHEW A. TARRANT (P71282)
Braun Kendrick Finkbeiner P.L.C.
Attorneys for Defendant
Union Township
304 E. Broadway, Ste. 206
Mt. Pleasant, MI 48858
(989) 775-7404

MICHAEL C. LEVINE (P16613)
Levine Law Group P.L.L.C.
201 N. Washington Sq., Ste. 930
Lansing MI 48933
Phone: (517) 853-2501
Fax: (517) 853-2504
Email: McLevine@LevineLGroup.com

THOMAS W. HALL, JR. (P14552)
Hall, Lewis & Bolles PC
Attorneys for Defendant
Estate of Lyle B. Keller
300 S. University Ave.
Mt. Pleasant, MI 4885
(989) 773-0004

BREE ANNE STOPERA (P71734)
Trott Law
Attorneys for Defendant
Freedom Mortgage Corporation
31440 Northwestern Hwy, Ste. 145
Farmington Hills, MI 48334
(248) 642-2515

JUDGMENT TO VACATE PART OF A RECORDED PLAT

At a session of court held in the courthouse in
Isabella County, Michigan, on April 24, 2019
Present: Honorable Paul H. Chamberlain, Chief Trial Judge

This matter has come before the Court on Plaintiff's Motion for Entry of Judgment to vacate portions of streets and alleys in a plat in Union Township, Isabella County, Michigan (Plaintiff's Motion), to document the resolution of this case with this Judgment to Vacate Part Of A Recorded Plat, being portions of Chippeway Street, Isabella Street, and Alley No. 3 in the plat of Map of Isabella City, Union Township, Isabella County, Michigan (the Judgment); certain defendants have answered Plaintiff's complaint; certain other defendants have been defaulted after not appearing in this action (the Defaulting Defendants); certain other defendants have not answered Plaintiff's complaint but had given their consent to the relief requested by Plaintiff (the Consenting Defendants).

Plaintiffs have reduced the portions of Chippeway and Isabella Streets and Alley No. 3 they wish to vacate from what was listed in their original Complaint. All defendants have been given notice of Plaintiff's Motion, and have had the opportunity to appear at the hearing, and the court is otherwise fully advised.

RECITALS

1. Plaintiff is the owner of record of property located within Blocks 2, 3, 4 and 5, and 6, in the plat of the Map of Village of Isabella City, Union Township, Isabella County, Michigan, as shown in **Exhibit A**.
2. On November 6, 2018 this action was filed pursuant to the Land Division Act,

MCL 560.221, et seq., seeking to have the Court vacate portions of Chippeway and Isabella Streets and Alley No. 3 in Plaintiff's portion of the plat of the Map of Isabella City so that Plaintiff could develop its property. No streets or alleys have ever been used or developed in Plaintiff's portion of the Plat

3. During the course of this matter Plaintiff decided to reduce the portions of streets and alleys to be vacated from what was originally proposed in its Complaint. The original proposal is attached as **Exhibit B**. The current proposal is attached as **Exhibit C**. The portions of streets and alleys to be vacated are now entirely within the boundaries of Plaintiff's property so no adjoining properties will be affected by the vacation.
4. Defendant Union Township is the municipality in which the plat of the Map of Isabella City is located and was joined as a defendant in this action as required by MCL. 560.224a(1)(a) and (b).
5. Defendant Robert Willoughby is the Drain Commissioner for Isabella County, Michigan, and was joined as a defendant in this action as required by MCL560.224a(1)(d).
6. Defendant John Graham is the Chairperson for the Board of the Isabella County Road Commission and was joined as a defendant in this action as required by MCL 560.224a(1)(d).
7. Defendant Shelly Edgerton is the former Director of the Michigan Department of Licensing and Regulatory Affairs, f/k/a Michigan Department of Energy, Labor and Economic Growth, and was joined as a defendant in this action as required by MCL560.224(1)(c).
8. Defendant Kirk T. Steudle is the former Director of the Michigan Department

- of Transportation and was joined as a defendant in this action as required by MCL 560.224a(1)(f).
9. Defendant Keith Creagh is the former Director of the Michigan Department of Natural Resources and was joined as a defendant in this action as required by MCL 560.224a(1)(f).
 10. Defendant Consumers Energy Company, a/k/a Consumers Power Company, is a Michigan Corporation and was joined as a defendant in this action as required by MCL 560.224a(1)(e).
 11. Defendant DTE Gas Company, a/k/a Michigan Consolidated Gas Company is a Michigan Corporation and was joined as a defendant in this action as required by MCL 560.224a(1)(e).
 12. The remaining Defendants are owners of record title of real property located within 300 feet of the portion of the plat of the Map of Isabella City that is the subject of this complaint and/or are persons of record claiming under those owners. They were joined as defendants in this action as required by MCL 560.224a(1)(a).
 13. Plaintiff represents that all parties have been joined as required by MCL 560.224(a)(1). Plaintiff further represents that service of the complaint was made on all defendants.
 14. At a public meeting held on March 13, 2019 Defendant Union Township approved by a vote of its board of directors to consent to the abandonment of the portions of streets and alleys described herein (as amended), in compliance with MCL 560.226. A copy of the Township's consent will be filed and recorded with the Isabella County Register of Deeds, and a copy of the recorded resolution provided to the Michigan Department of Licensing

and Regulatory Affairs, Office of Land Survey and Remonumentation. A copy of the Amended Petition for Abandonment signed by the Township is attached as **Exhibit D**.

15. At a meeting on March 28, 2019, Defendant Isabella County Road Commission approved the abandonment the portions of streets and alleys described herein (as amended) in accordance with MCL 560.226. A copy of the Resolution of the Isabella County Road Commission approving the Amended Petition for Abandonment, which will be filed with the Register of Deeds, is attached as **Exhibit E**.
16. Plaintiff represents that the following consenting Defendants gave their consent to the relief originally requested by Plaintiff in its complaint. All consents have been filed with this Court.

Union Township (consent to relief as amended)
 Isabella County Road Commission (consent to relief as amended)
 Michigan Department of Transportation
 Michigan Department of Natural Resources
 Michigan Land Bank Fast Track Authority
 Christina L. Dart
 Larry Linn Pierson
 Marjorie Jo Pierson
 Freedom Mortgage Corporation
 Mercantile Bank
 Judith A. Albrech
 Firstbank
 Firstbank Mortgage
 Isabella Community Credit Union
 Gas Real Estate Investments
 Herbert L. Wybenga
 Judy Wybenga
 Wolverine Pipeline Company

17. Plaintiff seeks for this court to enter Judgment against each of the Consenting Defendants.
18. Plaintiff represents that defaults were entered against the following

Defaulting Defendants who failed to appear. and were filed with the Court:

Isabella County Drain Commission
Memorial Gardens of Mt. Pleasant
Kathy Woodbury, a/k/a Kathy Poschen
Alvie Haynes
Heather Haynes
Chemical Bank
Estate of Lyle B. Keller
KTE Properties, LLC
Isabella Bank
Robert Paul, Sr.
Nivia L. Paul
CSC Development
John E. Wejrowski
MERS (Mortgage Electronic Registration Systems)
Tranex Financial, Inc.
Michigan Homeowner Assistance Nonprofit Housing Corporation
Jack L. McBride, Trustee of the Jack L. McBride Revocable Living Trust
dated January 6, 2010
Jim Sha Holding
Richard Haynes
Janet Haynes
The Rosary
New Executive Mortgage
Pamela L. Gray
Michael V. Theunissen and Chris W. Theunissen, Trustees of the Revocable
Trust Agreement for William Vz. Theunissen and Dorothy V
Theunissen dated October 23, 1996
Isabella County Condominium Subdivision Plan No. 23, a/k/a County Club
East Condominium
Joanne H. Chappell-Theunissen
William F. Sowle, Jr. and William F. Sowle III, Co-Trustees under the
Margaret Ann Sowle Family Trust
William Lemke
Isabella County Condominium Subdivision Plan No. 22, a/k/a Country Club
West Condominium
Walter R. Schneider
Under Par Investment Group
Mount Pleasant Country Club
Frank E. Epple, Trustee of the Frank E. Epple Revocable Living Trust dated
November 5, 2004.
H. Paul DeYoung
Marilyn DeYoung
Julie B. Yoon
Sung K. Yoon
William R. Cook
Joneil R. Cook
Steven M. Wiczorek, Trustee of the Revocable Trust Agreement of Steven

M. Wieczorek dated December 10, 2013
Joseph E. Glogoci
Charlotte R. Glogoci
Michigan-Toledo Pipeline Company

19. Plaintiff seeks for this court to enter this Judgment against each of the Defaulting Defendants. This Judgment is, as to the Defaulting Defendants, a Default Judgment.
20. During the course of this matter Plaintiff learned Defendant Lois A. Lemke predeceased her husband, Defendant William Lemcke, leaving Mr. Lemcke as the sole owner of the property, which was owned as husband and wife. Defendant Lois A. Lemke therefore is not a necessary party to Plaintiff's Complaint, this Motion, or Plaintiff's proposed Judgment.
21. As to the remaining Defendants, there is no issue of material fact and Plaintiff is entitled to the relief it seeks as a matter of law. Plaintiff seeks for this Court to enter this Judgment against each of the Remaining Defendants.

IT IS ORDERED THAT:

1. The portions of Chippeway and Isabella Streets and Alley No. 3 located in the plat of the Map of Isabella City, Union Township, Isabella County, Michigan, as set forth in **Exhibit C**, are hereby vacated.
2. Title to the above portions of the vacated streets and alleys in its portion of the plat of the Map of Isabella City shall vest in Plaintiff, pursuant to MCL 560.227a(1).
3. Lot 12, Block 3 and the adjoining one half of the vacated portion of Chippeway Street shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 3 in the plat of the Map of

- Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
4. Plaintiff's Lots 4-11, Block 3 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets and the vacated portion of Alley No. 3 in Block 3 shall be consolidated into a new lot to be identified by the second available consecutive lot number in Block 3 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 5. Plaintiff's Lots 1-6, Block 4 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 4 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 6. Plaintiff's Lots 1-6, Block 5 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 5 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 7. Plaintiff's Lots 7-12, Block 6 and the adjoining one halves of the vacated portions of Chippeway and Isabella Streets shall be consolidated into a new lot to be identified by the first available consecutive lot number in Block 6 in the plat of the Map of Isabella City on an amended plat in substantial compliance with the attached **Exhibit F.**
 8. Only lawfully existing recorded easements, including any easements reserved in this Judgment, located within the amended plat for Lots 4-12,

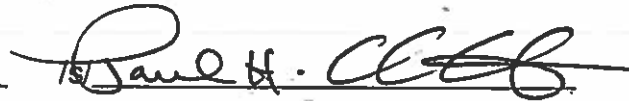
Block 3, Lots 1-6, Block 4, Lots 1-6, Block 5, Lots 7-12, Block 6, the vacated portions of Chippeway and Isabella Streets, and the vacated portion of Alley No. 3 in the plat of the Map of Isabella City shall be and are hereby preserved, and the amended plat shall show only lawfully existing recorded easements.

9. Currently existing private easements of record for public utilities over any part of Plaintiff's portion of the plat of the Map of Village of Isabella City are hereby preserved pursuant to MCL 560.226(3). Easement rights notwithstanding, the parties may locate any such access across Plaintiff's property by agreement between the parties, and at Plaintiff's expense.
10. Plaintiff is ordered to make an amended plat for Lots 4 -12, Block 3, Lots 1-6, Block 4, Lots 1- 6, Block 5, Lots 7-12, Block 6, the vacated portions of Chippeway and Isabella Streets, and the vacated portion of Alley No. 3 in the plat of the Map of Isabella City in accordance with all provisions of the Land Division Act and in substantial compliance with the attached **Exhibit F**.
11. **Exhibit F**, attached hereto, is a copy of the Proposed Layout for Amended Plat of the plat of the Map of Isabella City.
12. The newly established lot in the plat of the Map of Village of Isabella City, together with the block numbers shall be used from now on for the legal description for all purposes, including those of assessment, taxation, sale and conveyance in accordance with MCL 560.255.
13. A certified copy of this Judgment shall be recorded by Plaintiff in the office of the Isabella County Register of Deeds within 30 days from the date of entry of this Judgment, as required by MCL 560.228, and a copy of the recorded Judgment shall be provided to the Michigan Department of

Licensing and Regulatory Affairs, Office of Land Survey and Remonumentation along with the submission of the amended plat.

14. Plaintiff shall prepare and file within 90 days of the entry of this Judgment an amended plat for Lots 4-12, Block 3, Lots 1-6, Block 4, Lots 1-6, Block 5, Lots 7-12, Block 6, the vacated portions of Chippeway and Isabella Streets, and the vacated portion of Alley No. 3 in the plat of the Map of Isabella City Union Township, Isabella County, Michigan, for the review and approval of the Michigan Department of Licensing and Regulatory Affairs, Office of Land Survey and Remonumentation. The amended plat must be consistent with this Judgment, in substantial compliance with the attached **Exhibit F**, and in recordable form, in accordance with the Land Division Act, MCL 560.101 et seq.
15. This Judgment applies to the Consenting Defendants, the Defaulting Defendants, and all remaining Defendants.
16. This resolves the last pending claim in this matter and closes this case.

Dated: April 24, 2019

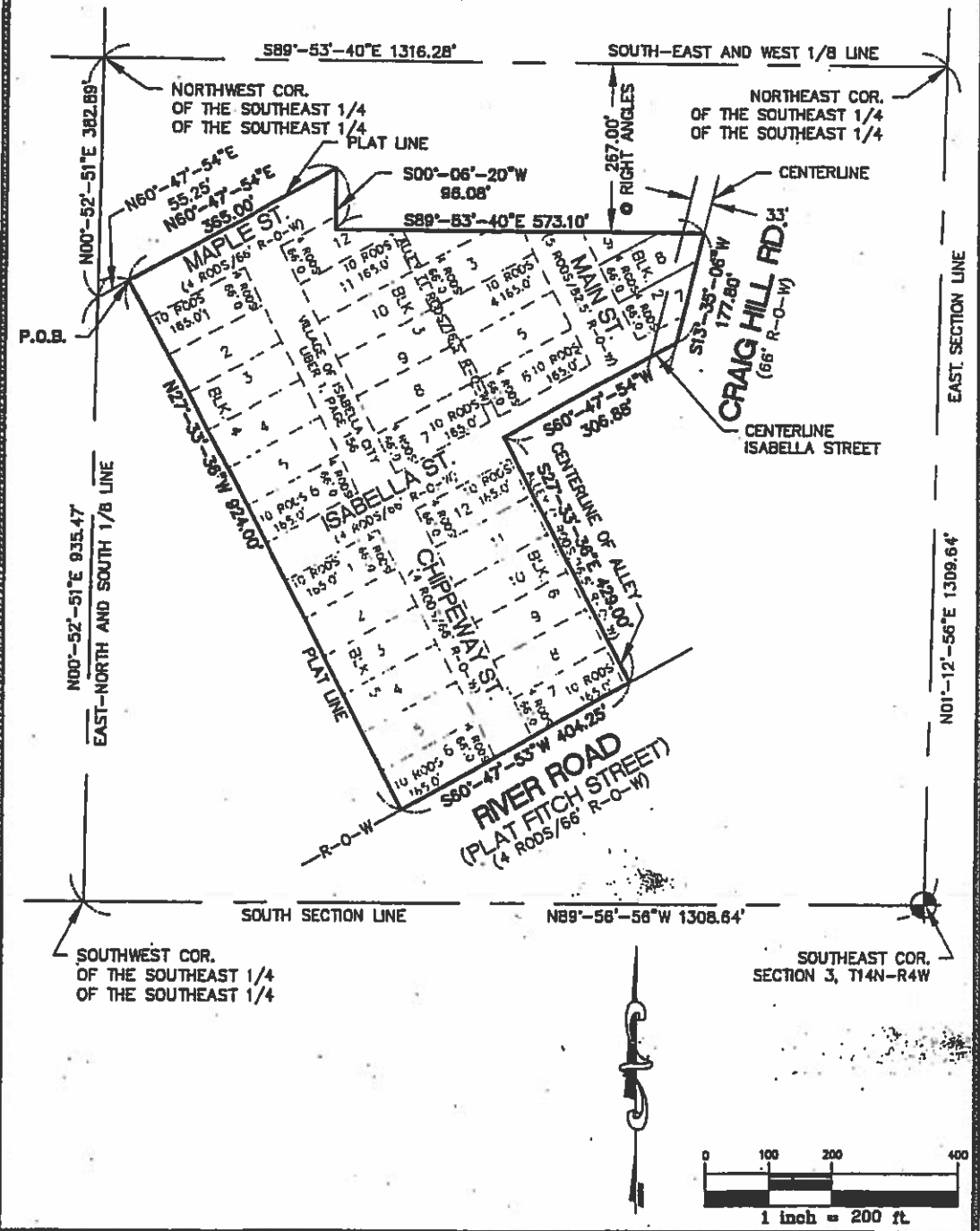


Paul H. Chamberlain, Chief Trial Judge


Drafted By:
Paul A. Blanco (P68712)
Martineau, Hackett, O'Neil & Klaus, PLLC
555 N. Main St.
Mt. Pleasant, MI 48858
(989) 773-9961

SKETCH / DESCRIPTION

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF BLOCKS 2-6 OF THE VILLAGE OF ISABELLA CITY



R - RECORDED	○ - FOUND IRON	◆ - SECTION CORNER
M - MEASURED	● - SET IRON	◇ - 1/8 CORNER
□ - SET WOOD STAKE	⊙ - CONCRETE MONUMENT	



CMS & D
 SURVEYING / ENGINEERING
 510 W. PICKARD STREET, SUITE C
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com




SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 8-21-18	JOB NUMBER: 1711-144
REVISED:	SHEET NUMBER: 1 OF 2

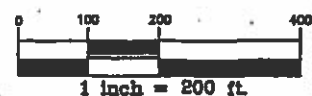
EXHIBIT


A

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY



-  - AREAS TO BE VACATED
-  - PROPOSED AMENDED PLAT BOUNDARY
-  - PROPERTY BOUNDARY 4 HACKS LLC



R - RECORDED M - MEASURED □ - SET WOOD STAKE	○ - FOUND IRON ● - SET IRON ⊙ - CONCRETE MONUMENT	⊕ - SECTION CORNER ⊕ - 1/8 CORNER	
 <p>CMS & D SURVEYING / ENGINEERING 510 W. PICKARD STREET, SUITE C MT. PLEASANT, MICHIGAN 48858 PHONE: (989) 775-0758 FAX: (989) 775-5012 EMAIL: info@cms-d.com</p>	SCALE: 1" = 200' SURVEY DATE: N/A DATE: 10-24-18 REVISED: 2-25-19	DRAWN BY: WRE CHECKED BY: TELE JOB NUMBER: 1711-144 SHEET NUMBER: 1 OF 2	

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE SOUTH RIGHT-OF-WAY LINE OF MAPLE STREET TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.


PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE EAST LINE OF LOT 7 OF BLOCK 3 AND THE EAST LINE OF LOT 12 OF BLOCK 6 OF SAID PLAT.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY BOUND ON THE SOUTH BY ISABELLA STREET AND THE NORTH BY THE NORTH LINES OF LOTS 4 & 9 OF BLOCK 3 OF SAID PLAT.

REVISION 3-22-19: CORRECTION IN DESCRIPTION FOR THE VACATION OF ISABELLA STREET

R - RECORDED M - MEASURED □ - SET WOOD STAKE	○ - FOUND IRON ● - SET IRON ⊗ - CONCRETE MONUMENT	⊕ - SECTION CORNER ⊖ - 1/8 CORNER	
	<p align="center">CMS & D</p> <p align="center">SURVEYING / ENGINEERING</p> <p>510 W. PICKARD STREET, SUITE C MT. PLEASANT, MICHIGAN 48858 PHONE: (989) 775-0758 FAX: (989) 775-8012 EMAIL: info@cms-d.com</p>	SCALE: 1" = 200'	DRAWN BY: WRE
		SURVEY DATE: N/A	CHECKED BY: TELB
		DATE: 10-24-18	JOB NUMBER: 1711-144
		REVISED: 2-25-19	SHEET NUMBER: 2 OF 2

SKETCH / DESCRIPTION

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
FRACTIONAL SECTION 3 T.14 N.— R.4 W.,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
AND PART OF THE VILLAGE OF ISABELLA CITY



- AREAS TO BE VACATED



1 inch = 200 ft

OR LIB 1845 PG 38

SKETCH / DESCRIPTION

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE NORTH LINE OF SAID PLAT TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.

PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE WESTERLY RIGHT OF WAY LINE OF CRAIG HILL ROAD, AS CONSTRUCTED.

PART OF MAPLE STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF MAPLE STREET FROM THE WEST LINE OF SAID PLAT TO THE WESTERLY RIGHT OF WAY LINE OF CRAIG HILL ROAD, AS CONSTRUCTED.

PART OF MAIN STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF MAIN STREET FROM THE NORTH LINE OF SAID PLAT TO THE SOUTHERLY RIGHT OF WAY LINE OF ISABELLA STREET.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY WITHIN BLOCK 3 OF SAID PLAT.

ALLEY WITHIN BLOCK 6 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY WITHIN BLOCK 6 OF SAID PLAT.

ALLEY WITHIN BLOCK 2 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY WITHIN BLOCK 2 OF SAID PLAT FROM THE NORTH LINE OF SAID BLOCK 2 TO THE WESTERLY RIGHT OF WAY LINE OF CRAIG HILL ROAD, AS CONSTRUCTED.

- R - RECORDED
- M - MEASURED
- - SET WOOD STAKE

- - FOUND IRON
- - SET IRON
- ⊙ - CONCRETE MONUMENT

- ⊕ - SECTION CORNER
- ⊕ - 1/8 CORNER



CMS & D
 SURVEYING / ENGINEERING

510 W. PICKARD STREET, SUITE C
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com

SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 10-24-18	JOB NUMBER: 1711-144
REVISED:	SHEET NUMBER: 2 OF 2

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY



- AREAS TO BE VACATED
- PROPOSED AMENDED PLAT BOUNDARY
- PROPERTY BOUNDARY 4 HACKS LLC



R - RECORDED M - MEASURED □ - SET WOOD STAKE	○ - FOUND IRON ● - SET IRON ⊙ - CONCRETE MONUMENT	⊕ - SECTION CORNER ⊙ - 1/8 CORNER	
<h2 style="margin: 0;">CMS & D</h2> <p style="margin: 0;">SURVEYING / ENGINEERING</p> <p style="margin: 0;">510 W. PICKARD STREET, SUITE C MT. PLEASANT, MICHIGAN 49858 PHONE: (989) 775-0756 FAX: (989) 775-5012 EMAIL: info@cms-d.com</p>		SCALE: 1" = 200' SURVEY DATE: N/A DATE: 10-24-18 REVISED: 2-25-19	DRAWN BY: WRE CHECKED BY: TELB JOB NUMBER: 1711-144 SHEET NUMBER: 1 OF 2

EXHIBIT
C

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
 FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
 AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 158, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE SOUTH RIGHT-OF-WAY LINE OF MAPLE STREET TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.


PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 158, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE EAST LINE OF LOT 7 OF BLOCK 3 AND THE EAST LINE OF LOT 12 OF BLOCK 8 OF SAID PLAT.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 158, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY BOUND ON THE SOUTH BY ISABELLA STREET AND THE NORTH BY THE NORTH LINES OF LOTS 4 & 9 OF BLOCK 3 OF SAID PLAT.

REVISION 3-22-19: CORRECTION IN DESCRIPTION FOR THE VACATION OF ISABELLA STREET

R - RECORDED M - MEASURED □ - SET WOOD STAKE	○ - FOUND IRON ● - SET IRON ⊙ - CONCRETE MONUMENT	⊕ - SECTION CORNER ⊕ - 1/8 CORNER									
	<p align="center">CMS & D SURVEYING / ENGINEERING 510 W. PICKARD STREET, SUITE C MT. PLEASANT, MICHIGAN 48858 PHONE: (989) 775-0758 FAX: (989) 775-5012 EMAIL: info@cms-d.com</p>	<table border="1"> <tr> <td>SCALE: 1" = 200'</td> <td>DRAWN BY: WRE</td> </tr> <tr> <td>SURVEY DATE: N/A</td> <td>CHECKED BY: TELB</td> </tr> <tr> <td>DATE: 10-24-18</td> <td>JOB NUMBER: 1711-144</td> </tr> <tr> <td>REVISED: 2-25-19</td> <td>SHEET NUMBER: 2 OF 2</td> </tr> </table>	SCALE: 1" = 200'	DRAWN BY: WRE	SURVEY DATE: N/A	CHECKED BY: TELB	DATE: 10-24-18	JOB NUMBER: 1711-144	REVISED: 2-25-19	SHEET NUMBER: 2 OF 2	
SCALE: 1" = 200'	DRAWN BY: WRE										
SURVEY DATE: N/A	CHECKED BY: TELB										
DATE: 10-24-18	JOB NUMBER: 1711-144										
REVISED: 2-25-19	SHEET NUMBER: 2 OF 2										

AMENDED

PETITION FOR ABANDONMENT

TO: The Board of County Road Commissioners of the County of Isabella, 2261 E. Remus Rd, Mt. Pleasant, MI 48858

We, the undersigned six or more, Freeholders of the Township of Union
(number of freeholders)
Isabella County, Michigan: ...

(Petitioners Signatures - must be seven or more)

Example: *Signature*

Printed Name
Street Address
City, State, Zip Code

1 *[Signature]*
Thomas R. Gross
P.O. Box 548
Mt. Pleasant, MI 48858

5 *[Signature]*
Robert J. Long
1645 Shagbark
1111 Prospect, MI, 48858

2 *[Signature]*
Gregory L. Starry
6741 Dawn Run
Mt. Pleasant, MI 48858

6 *[Signature]*
William Moronica
2141 Sable Ct.
Mt. Pleasant, MI 48858

3 *[Signature]*
Kent Vander Loon
President Mt. Pleasant Country Club
3086 E. River Road
Mt. Pleasant, MI 48858

7

4 *[Signature]*
Kent Vander Loon
1742 Leroy Lane
Mt. Pleasant, MI 48858

8

respectfully petition as follows:

BE IT HEREBY RESOLVED: That the Board of County Road Commissioners of the County of Isabella shall consider for absolute abandonment and discontinuance, the street or road generally referred to as

See attached map -- Village of Isabella City Plat

located in Union Township, Isabella County, and State of Michigan.



PETITION FOR ABANDONMENT

TO: The Board of County Road Commissioners of the County of Isabella, 2261 E. Remus Rd, Mt. Pleasant, MI 48858

We, the undersigned two or more, Freeholders of the Township of Union
(number of freeholders)
Isabella County, Michigan:

(Petitioners Signatures – must be seven or more)

Example: *Signature*

Printed Name
Street Address
City, State, Zip Code

1

JAMES C. STARK
2887 BACK TOWN ST.
MT. PLEASANT, MI 48858

5

[Empty signature box]

2

TIMOTHY E. BEBEE
2257 E. Broomfield Road
Mt. Pleasant MI 48858

6

[Empty signature box]

3

[Empty signature box]

7

[Empty signature box]

4

[Empty signature box]

8

[Empty signature box]

respectfully petition as follows:

BE IT HEREBY RESOLVED: That the Board of County Road Commissioners of the County of Isabella shall consider for absolute abandonment and discontinuance, the street or road generally referred to as

see attached map -- Village of Isabella City Plat

located in Union Township, Isabella County, and State of Michigan.

PETITION FOR ABANDONMENT

TO: The Board of County Road Commissioners of the County of Isabella, 2261 E. Remus Rd, Mt. Pleasant, MI 48858


We, the undersigned one or more, Freeholders of the Township of Union
(number of freeholders)

Isabella County, Michigan:

(Petitioners Signatures – must be seven or more)

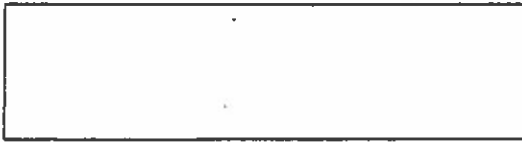
Example: *Signature*

Printed Name
Street Address
City, State, Zip Code

1 
JAMES R. STANK
FOUR HACKS, LLC
MANAGER, BOX 348, MT PLEASANT
MI 48804

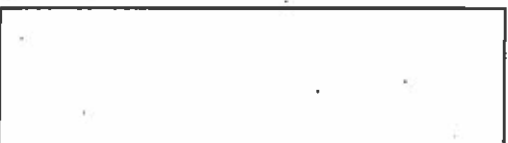
5 

2 

6 

3 

7 

4 

8 

respectfully petition as follows:

BE IT HEREBY RESOLVED: That the Board of County Road Commissioners of the County of Isabella shall consider for absolute abandonment and discontinuance, the street or road generally referred to as

see attached map -- Village of Isabella City Plat

located in Union Township, Isabella County, and State of Michigan.

BE IT HEREBY FURTHER RESOLVED: That the following is a legal description of that portion of street or road to be considered for absolute abandonment and discontinuance.

Please see legal description attached to map

BE IT HEREBY FURTHER RESOLVED: That we request said portion of Village of Isabella City (general name) be considered for absolute abandonment and discontinuance for the following reasons:

Four Hacks, LLC, a Michigan limited liability company and owner of a portion of the Village of Isabella City Plat as shown on the attached map wishes to develop its portion of the Plat and needs the undeveloped roads and alleys in its portion abandoned and vacated in order to build in its area

BE IT HEREBY FURTHER RESOLVED: That the following is the name and address of all owners or occupants of the land abutting which said Village of Isabella City Plat (general street or road name) or the portion thereof that we desire to be discontinued, passes:

Name	Address	Frontage length of subdivision lot number (if applicable)
1. <u>Mt. Pleasant Country Club</u>	3686 E. River Rd., Mt. Pleasant	48858
2. <u>Four Hacks, LLC, owner of the portion of plat at issue, which does not yet have a street address. The mailing address of Four Hacks, LLC is</u>		
4. <u>P.O. Box 348, Mt. Pleasant, MI 48804</u>		
5. _____		
6. _____		
7. _____		
8. _____		

UNION Township

Supervisor: [Signature]
 Clerk: [Signature]
 Treasurer: [Signature]
 Trustee: [Signature]
 Trustee: [Signature]
[Signature]

Dated: 3-13-2019

[Signature]
TIMOTHY E BEBEE

On this 28th day of February 2019 before me a Notary Public in and for the County of Isabella, State of Michigan, personally appeared,

Timothy E Bebee who being duly sworn, depose and say that he is a freeholder of the Township of Union, Isabella County.

Michigan and that to the best of his knowledge, this petition contains a true and correct list of the names and mailing addresses of each parcel of land abutting the street or road, or portion thereof, sought to be absolutely abandoned and discontinued.

[Signature]
 Notary Public, Isabella County, Michigan

My Commission Expires 6/3/19



2261 E. REMUS ROAD, MT. PLEASANT, MI 48858.

CERTIFICATE OF RESOLUTION

MOVED BY: Turnwald SUPPORTED BY: Busch

WHEREAS, this Board has received a petition in accordance with 1909 PA 283, as amended, being MCLA 224.18, for the absolute abandonment and discontinuance of a portion of Chippeway Street and Isabella Street platted streets and the alley within Block 3 within the Plat of the Village of the City of Isabella, Union Township, Isabella County, which is under the jurisdiction and control of this Board; and

WHEREAS, Chippeway Street and Isabella Street were originally dedicated to the public as streets and the alley within Block 3 was originally dedicated as a public alley within the Plat of the Village of the City of Isabella in Union Township; and

WHEREAS, the Board has received the above described petition signed by seven freeholders of Union Township and notice a public hearing was held on March 22, 2019, at which no objections to the abandonment were raised; and

WHEREAS, this Board has considered the necessity and advisability of absolutely abandoning and discontinuing portions of Chippeway Street, Isabella Street and the alley within Block 3 within the Plat of the Village of the City of Isabella pursuant to the petition, and a field inspection was conducted to view the premises described in the petition; and

WHEREAS, in determining the advisability of this abandonment in conformance with the statute, no opposition was registered with respect to the subject petition; and

NOW, THEREFORE, BE IT RESOLVED, that this Board hereby declares and determines that it is in the best interest of the public to absolutely abandon and discontinue the following described public streets and alley:

A PART OF SOUTHEAST 1/4 OF THE SOUTHEAST 1/4,
FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN
AND PART OF THE VILLAGE OF ISABELLA CITY

PART OF CHIPPEWAY STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF CHIPPEWAY STREET FROM THE SOUTH RIGHT-OF-WAY LINE OF MAPLE STREET TO THE NORTH RIGHT OF WAY LINE OF RIVER ROAD, PLATTED AS FITCH STREET.



PART OF ISABELLA STREET TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 4 ROD (66.00 FEET) RIGHT OF WAY OF ISABELLA STREET FROM THE WEST LINE OF SAID PLAT TO THE EAST LINE OF LOT 7 OF BLOCK 3 AND THE EAST LINE OF LOT 12 BLOCK 6 OF SAID PLAT.

ALLEY WITHIN BLOCK 3 TO BE VACATED:

PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF FRACTIONAL SECTION 3, T.14 N.- R.04 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEING A PART OF THE RECORDED PLAT OF "VILLAGE OF ISABELLA CITY", AS RECORDED IN LIBER 1 OF PLATS, PAGE 156, ISABELLA COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS THAT PART OF THE 1 ROD (16.50 FEET) ALLEY RIGHT OF WAY BOUND ON THE SOUTH BY ISABELLA STREET AND THE NORTH BY THE NORTH LINES OF LOTS 4 & 9 OF BLOCK 3 OF SAID PLAT.

IT FURTHER RESOLVED that this Board grants the request for abandonment of the above-described public streets and alley are absolutely abandoned and discontinued, subject to any easements for public utility purposes.

BE IT FURTHER RESOLVED, the Isabella County Road Commission Clerk shall record a certified copy of this resolution in the office of the Isabella County Register of Deeds, and send certified copies to the proper highway authorities and to the Union Township Supervisor and Clerk.

Ayes: Commissioner's Graham, Turnwald, & Busch. Nays: None. Motion carried.

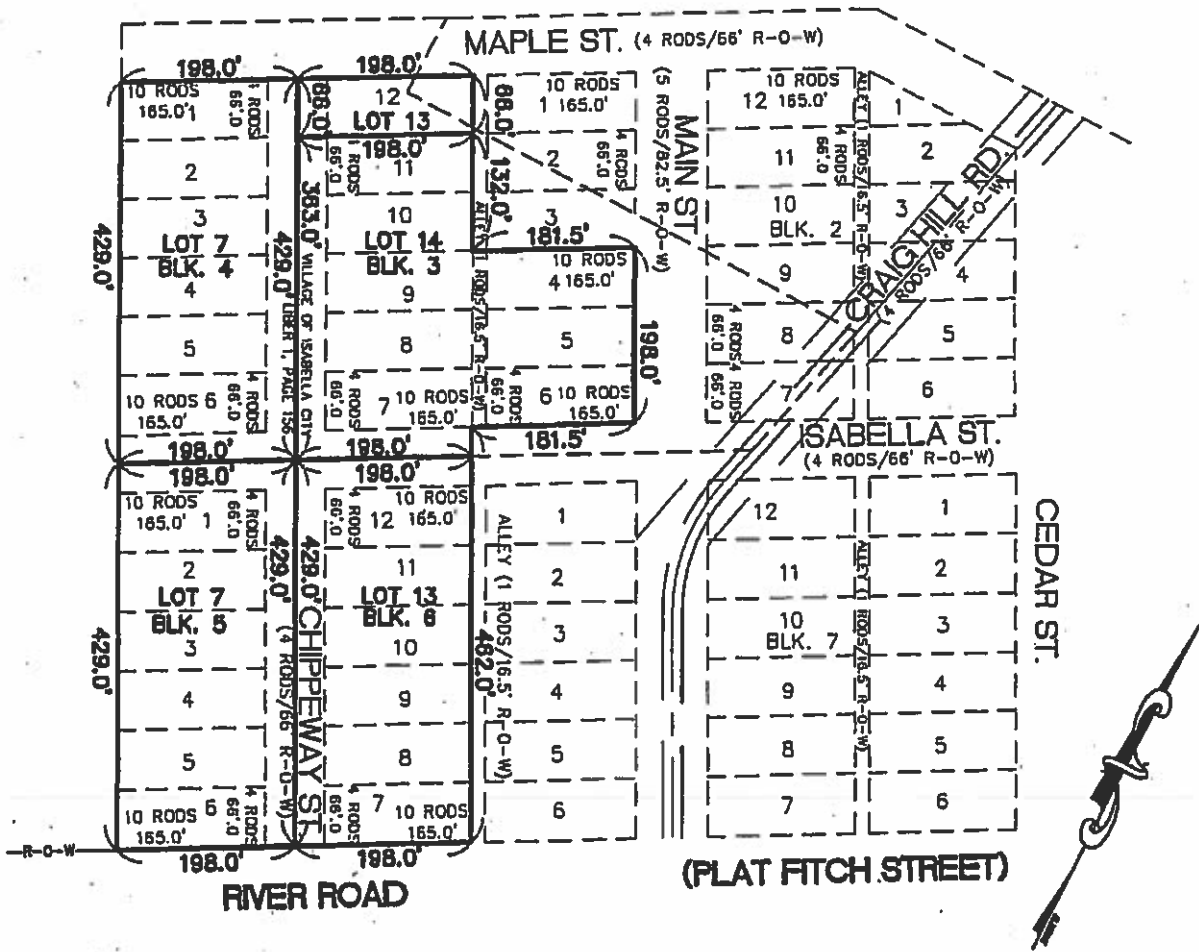
I, Jalene A. Sandel hereby certify the foregoing is a true and accurate copy of the resolution made and adopted at the Regular Board Meeting of the Isabella County Board of Road Commissioners

Held on: March 28, 2019

Signed: Jalene A. Sandel
Secretary to the Board

Dated: march 28, 2019

PROPOSED LAYOUT FOR AMENDED PLAT OF A PART OF BLOCK 3,
 BLOCK 4, BLOCK 5 AND A PART OF BLOCK 6 OF THE MAP OF
 ISABELLA CITY BEING A PART OF SOUTHEAST 1/4 OF THE
 SOUTHEAST 1/4, FRACTIONAL SECTION 3 T.14 N.- R.4 W.,
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



- R - RECORDED
- M - MEASURED
- - SET WOOD STAKE
- - FOUND IRON
- - SET IRON
- ◎ - CONCRETE MONUMENT

- ⊕ - SECTION CORNER
- ⊙ - 1/8 CORNER



CMS & D
 SURVEYING / ENGINEERING
 510 W, PICKARD STREET, SUITE C
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0758
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com

SCALE: 1" = 200'	DRAWN BY: WRE
SURVEY DATE: N/A	CHECKED BY: TELB
DATE: 10-24-18	JOB NUMBER: 1711-144
REVISED: 3-18-19	SHEET NUMBER: 1 OF 1



To: Mark Stuhldreher - Township Manager **DATE:** June 18, 2019
FROM: Kim Smith – Public Service Director **DATE FOR BOARD CONSIDERATION:** June 26, 2019
ACTION REQUESTED: Approval of the Engineering Proposal with Gourdie Fraser in the amount of \$29,500 for the replacement of Well #1 with a new well (Well #11) at the Isabella Treatment Plant.

Current Action Emergency

Funds Budgeted: If Yes _____ Account # 591-536-933.100 No N/A _____

Finance Approval _____ *MDS* _____

BACKGROUND INFORMATION

The Township’s 2012 and 2017 Water Reliability Study determined that Well #1 would need to be replaced in the next five to ten years due to loss of production, and to meet the increased demand to the overall well system. Well #1 which is located at the Isabella Treatment Facility was budgeted and approved to be replaced in 2017. The original scope of work included drilling a deeper well next to the existing well and reconnecting into existing site infrastructure. In order to replace the well and increase capacity, the depth of Well #1 would change from 56.6 feet to a new depth of around 100 feet, making it comparable to other wells at the same site. Increasing the depth to 100 feet could potentially increase well capacity from 400 gpm to 700 gpm.

In May of 2017 the Township went through the bidding process for the well replacement project. Three bids were received and on June 14, 2017, Peerless Midwest was awarded the bid by the Township Board. When drilling the new well (next to Well #1) commenced, it was determined that water levels and capacity at this location were not available below the existing level of 56.6 feet and would not support increased capacity. Drilling was halted, and the project was reassessed prior to any additional development.

In December of 2017, with the assistance of Peerless Midwest, the Township submitted a Site-Specific Review to the MDEQ Drinking Water and Municipal Assistance Division Resource Unit to determine other potential high capacity well sites at the Isabella Treatment Facility. In late November 2018, the Township received an assessment from the MDEQ indicating two potential locations at the Isabella Site. One location was not viable due to existing infrastructure. However, the second site located in a wooded area 525’ west of Well #7 is a possibility.

A permit for a test well was approved by the MDEQ Saginaw Bay District to determine the viability of the selected site and a test well was drilled by Peerless Midwest in March of 2019. It was determined that enough water is available at approximately 98 feet to support a 700 gpm well. However, additional site work, a high capacity well screen, and a new water transmission main from the new well to an existing onsite water main would need to be constructed. Below is an estimate of the site work, well development, transmission main installation, and engineering required to fully develop a new higher capacity well and abandon Well #1. Peerless Midwest has agreed to hold their 2017 pricing, (\$76,655) since the project has been ongoing since that time, and was pending EGLE determination. The costs are included in the overall estimates provided below and on the Opinion of Probable Construction Cost dated April 25, 2019.

Drill well, well testing, high capacity well screen, and pumping equipment (Peerless Midwest)	\$ 73,635
Abandon Well #1 (Peerless Midwest)	\$ 3,020
VFD & SCADA Programming	\$ 30,000
Access Drive, clearing, site grading, driveway, and electrical	\$ 66,566
Transmission Line, connection to existing, restoration	<u>\$ 131,265</u>
Total Construction Cost	\$ 304,486
Contingency	\$ 30,448
Engineering	\$ 29,500
Estimated Total Project Cost	<u>\$364,434</u>

SCOPE OF SERVICES

Engineered plans and site work specification to include the new transmission line must be submitted to EGLE (formerly MDEQ) District Office for approval and permitting. The cost for engineering, bidding, and construction services is \$29,500. A detailed scope of services is attached.

JUSTIFICATION

Recommendation to award project to Gourdie Fraser for Engineering Services in the amount of \$29,500, based on a long history of successful projects and the existing Township Engineering Agreement with the firm.

PROJECT IMPROVEMENTS

Board of Trustees goals addressed by this agreement (From Policy 1.0: Global End).

1. Community well-being and common good
2. Safety
3. Health

COSTS

\$29,500

A budget adjustment to the water fund in the amount of \$29,500 to account number 591-536-933.100 is required to complete this work. This work was not part of the FY2019 Budget due to the uncertainty of the response time of EGLE and the outcome of the Site-Specific Assessment.

Assuming the project is permitted by EGLE, additional approvals will be sought from the Board to continue with the project. If the construction commences in FY 2019, additional budget amendments will be requested as well. If the project is to commence in 2020, the FY 2020 budget will include this project.

PROJECT TIME TABLE

Design work 30 days – construction dependent on permitting from EGLE

RESOLUTION

Approve the Engineering Proposal with Gourdie Fraser in the amount of \$29,500 for the replacement of Well #1 with a new well (Well #11) at the Isabella Treatment Plant.

Resolved by _____ Seconded by _____

- Yes:
- No:
- Absent:



May 8, 2019

Ms. Kim Smith, Director
Department of Public Service
Charter Township of Union
2010 South Lincoln
Mt. Pleasant, MI 48858

RE: Replacement Well #11- Transmission Line/Access Drive
GFA Proposal No. 19-220

Dear Ms. Smith:

Thank you for the opportunity to submit this proposal for the design, permitting and construction services for the transmission line and access drive as it pertains to the installation of Well #11 which is intended to replace Well #1. This proposal letter presents our scope of services, fee, time schedule, and "Standard Terms and Conditions." Should you have any questions regarding the information contained herein please do not hesitate to contact me.

Part A Scope of Services

A.1 Project Location / Identification

This portion of the project involves the following general work items:
Installation of 12 inch water main transmission line and access drive to new well. Scope includes installation of tees and valves to facilitate future connections, connection to existing 8" transmission line into treatment facility and yard hydrant/ valve for maintenance and isolation.

A.2 Description of Basic Services of Engineer:

Preliminary Design Phase

During the Preliminary Design, Engineer shall:

1. Perform topographic survey of the existing project limits and prepare base maps using existing information and update as necessary.
2. Work in conjunction with the Union Township Public Service Department to determine the limits of the new pipe, valves, and hydrants and connection points and incorporate into the design drawings, along with the limits of the proposed access drive.
3. Evaluate impact to existing system including hydraulic analysis including friction loss and pump operations to ensure ability for proposed Well #11 and #7 can discharge simultaneously.



4. Prepare preliminary plans (60%) that will include the general scope of works such as:
 - a. Water main plan and profile layouts which will identify hydrant and valves. Lay out proposed water main to ensure no conflicts with existing utilities.
5. Prepare preliminary contract bid documents and technical specifications.
6. Contact the following agencies/utility companies to determine the location of their utility lines within the project area.
 - a. Consumers Energy
 - b. AT&T
 - c. DTE
 - d. Charter Communications
7. **QA-QC.**

Final Design Phase

During the Final Design, Engineer shall:

1. Prepare final Design plans for the water main.
2. Prepare final specifications, bidding sheets and contract documents so that the plans and specifications are ready for bidding.
3. Review plans with the Union Township Public Service Department.
4. Prepare permit applications and submit final plans and specifications to the following agencies (permit fees to be paid for by the Charter Township of Union):
 - a. EGLE
 - b. Isabella County Drain Commission
5. **QA-QC.**

Bidding Phase

During the Bidding, Engineer Shall:

1. Reproduce sets of plans, specifications and bid documents.
2. Place advertisement in newspaper and MITA (Michigan Infrastructure & Transportation Association) (advertising costs to be paid for by the Charter Township of Union).
3. Mail bid packages to contractors



4. Assist Owner with soliciting bids from construction contractors .
5. Answer questions from prospective bidders.
6. Issue addenda, as required, during the bidding phase.
7. Conduct bid opening.
8. Review bid proposals and make recommendations regarding award of contract.
9. Prepare documents for award of Contract and Construction Agreement.

A.3 Period of Service:

Time of Completion

This portion of the project will be completed in a timely manner and as rapidly as the Township approval process permits. We anticipate completing the design work within 30 days of authorization to proceed. We recommend bidding the project once permits are received.

PART B Construction Services

8.1 Project Location / Identification

1. Work location described in Part A.

8.2 Basic Construction Services

Construction Administration

1. Provide construction staking of the water main.
2. Organize and administer a pre-construction conference and prepare meeting minutes.
3. Review shop drawings submitted by the Contractor.
4. Make periodic visits by the engineer to the site (at least weekly) to monitor the general progress of the work, keep abreast of any problems and endeavor to resolve any disputes with may arise.
5. Review change order documents as required.
6. Review Contractor's payment request and approve periodic estimates for partial payment each month.
7. Provide Four (4) sets of plans and specifications to contractor for construction.



Construction Observation

1. Review materials directly related to the project upon delivery to the site.
2. Video tape or photograph the construction area prior to construction.
3. Review restoration and clean-up operations.
4. Perform density testing of the sand subbase and aggregate for the proposed gravel drive. Perform material testing as needed.
5. Provide full time construction inspection, witness and document the Contractor's methods and procedures for testing the water main piping and applicable appurtenances for hydrostatic tests, chlorination and work in conjunction with the Union Township Department of Public Works to verify the bacteria testing and flushing operations.
6. Witness of construction installation of all piping and structures including the preparation of daily log of construction activities.
7. Review and verification of Contractor's requested quantities for payment.
8. Keep records of as-constructed measurements.
9. **QA-QC**

Project Closeout and Startup

1. Certify to the Charter Township of Union agencies that construction was completed in accordance with approved plans and specifications.
2. Review and transmit to the Charter Township of Union the following documents from the Contractor:
 - a. One Year Maintenance Bond.
 - b. Letter of Guarantee.
 - c. Affidavit of Completion
 - d. Waiver of Lien
3. Transmit the following documents to the Union Township:
 - a. Record Drawings of the newly constructed water main project.
 - b. Reports, witness sheets.
4. **QA-QC.**



B.3 Period of Service

Time of Completion: Construction services will be performed in the timely manner consistent with the contractors operations. Closeout will occur within 30 days of construction completion .

Part C Fee for Service

C.1 Fee For Services

Method of Payment for Services and Expenses of Engineer:

The Engineer will be paid the following lump sum fees for the Basic Services as indicated in Part A and Part B:

Part A. Design, Services

Preliminary Design	\$4,500
Final Design	\$ 6,250
Bidding Services	<u>\$ 2,750</u>
SUBTOTAL:	\$13,500

Part B. Construction Services

Construction Administration	\$4,000
Construction Observation	\$9,500
Closeout & Start-LIQ Services	<u>\$ 2,500</u>
SUBTOTAL:	\$16,000

TOTAL A&B \$29,500

Changes, modifications, or additions to the Basic Services will be performed at the normal hourly rates for the personnel involved or at a negotiated fee. (see attached 2019 Rates)

Billings will be made once a month as the work progresses.

C.2 Additional Information

The following items are not reimbursable expenses and included in the Total Lump Sum Price.

[g] Photocopies [g] Prints [g] Mylars/Vellums [g] Travel Expenses

C.3 Clarifications

The following items are not included in our scope of services and provided by the Township: All engineering, contract administration, construction oversight, and/or project closeout related to the installation of Well #11 shall be provided by Union Township and performed by Peerless Midwest as outlined in their contract dated July 10, 2017. GFA will provide assistance with coordination, review and input as it pertains to the installation transmission line, pump operations and overall plant operations to ensure compliance with local, state and federal guidelines and typical industry standards .



Contract Terms and Conditions

Exhibit 1 (attached), "Standard Terms and Conditions," dated September 2017 is incorporated into this proposal by reference.

Acceptance

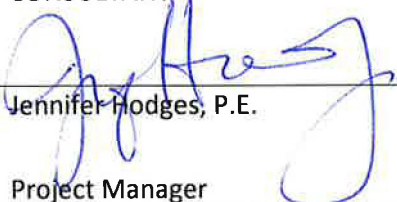
If this proposal is acceptable to you, please sign where indicated below, initial page 2 of Exhibit 1 "Standard Terms and Conditions" and return a copy, of both , to my attention. Receipt of this signed proposal will serve as our authorization to proceed. Thank you for giving us the opportunity to be of service. We look forward to working with you in the very near future on this project.

GFA

CONSULTANT

Name

CLIENT/OWNER


Jennifer Hodges, P.E.
Project Manager

(Signature)

(Name)

(Title)

(Date)

(Phone No)

(Email)

Charter Township of Union

Attachments: Exhibit 1- Standard Terms and Conditions
Exhibit 2 - 2019 Billing Rates

OPINION OF PROBABLE CONSTRUCTION COST

CHARTER TOWNSHIP OF UNION

ISABELLA WATER TREATMENT PLANT: WELL #11 INCLUDING TESTING, TRANSMISSION LINE AND ACCESS DRIVE

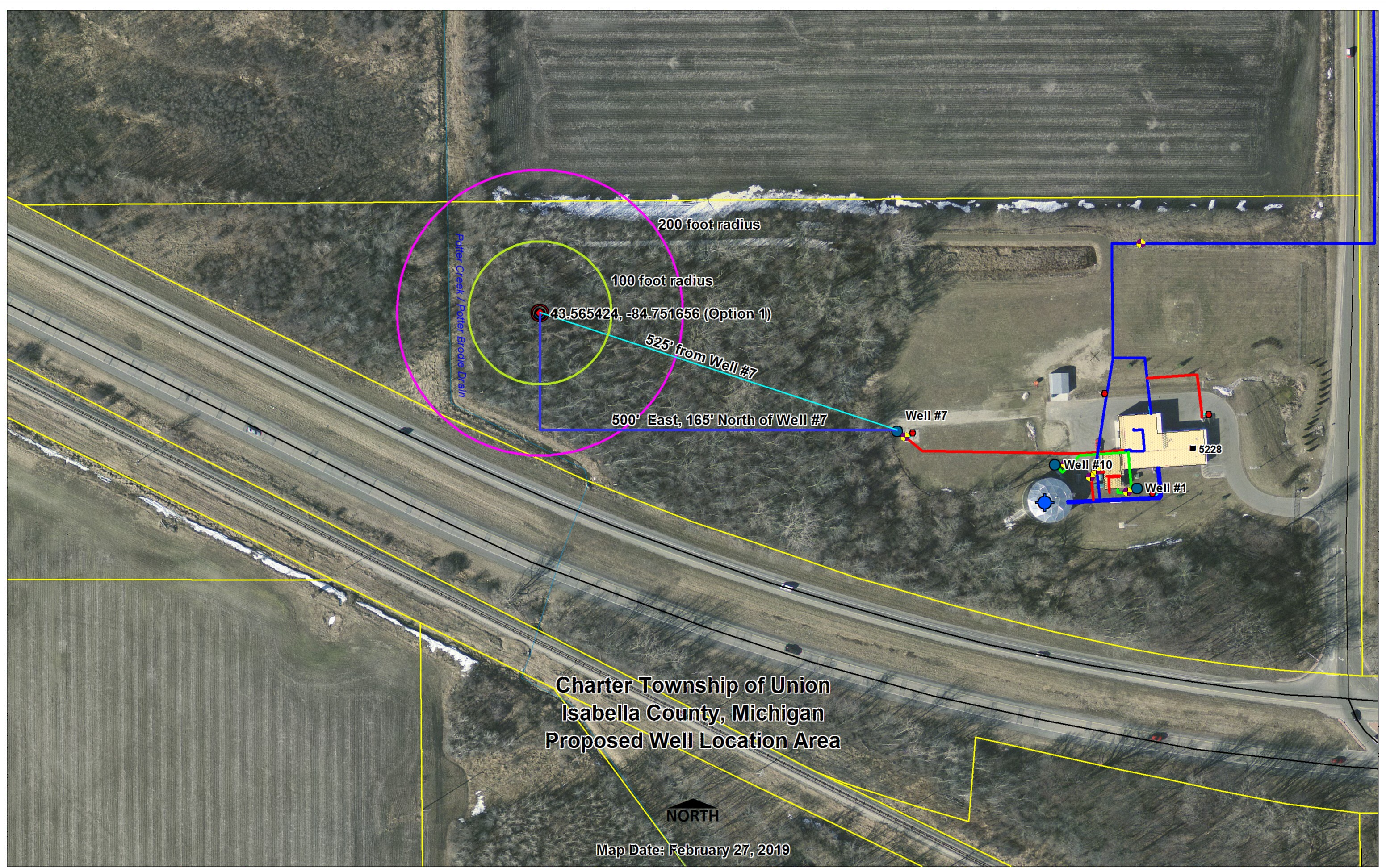
GFA PROJECT NO. 19029U

April 25, 2019

No.	Item	Estimated Quantity	Unit	Unit Price	Item Cost
ACCESS DRIVE					
1	Mobilization	1	LS	\$ 10,000.00	\$ 10,000.00
2	Grubbing / Clear Cutting	1.1	ACRE	\$ 2,000.00	\$ 2,203.86
3	Site Grading	3578	SYD	\$ 1.00	\$ 3,577.78
4	Sand Subbase, Class II (12" Depth)	447	CYD	\$ 6.00	\$ 2,683.33
5	Driveway, Gravel 23A (8" Depth)	1342	SYD	\$ 12.00	\$ 16,100.00
6	Site Electrical & Communication , 1-1/2" Conduit, 480V / 3 Phase & JB / 1" 9-30V Conduit	1800	LF	\$ 32,000.00	\$ 32,000.00
WELL #11					
Phase I					
1	Test Drilling to 100'	1	LS	\$ 3,500.00	\$ 3,500.00
2	Gamma Logging Test Boring	1	LS	\$ 250.00	\$ 250.00
Phase II					
1	Mobilization	1	LS	\$ 3,500.00	\$ 3,500.00
2	12" Well including development	1	LS	\$ 33,640.00	\$ 33,640.00
3	Two (4") Monitoring Wells	1	LS	\$ 8,500.00	\$ 8,500.00
4	Well Testing	1	LS	\$ 7,900.00	\$ 7,900.00
5	Aquifer Analysis	1	LS	\$ 4,650.00	\$ 4,650.00
Phase III					
1	Pumping Equipment (pump, motor, drop pipe and valves)	1	LS	\$ 7,395.00	\$ 7,395.00
2	Move 12" Pitless	1	LS	\$ 4,300.00	\$ 4,300.00
Phase IV					
1	Abandon Well #1	1	LS	\$ 3,020.00	\$ 3,020.00
Phase V					
1	Variable Frequency Drive, 15 Hp	1	LS	\$ 22,500.00	\$ 22,500.00
2	SCADA Programming	1	LS	\$ 7,500.00	\$ 7,500.00
TRANSMISSION LINE					
1	Water Main, C900, 16"	605	LF	\$ 95.00	\$ 57,465.50
2	Gate Valve & Box, 16"	4	EA	\$ 9,750.00	\$ 39,000.00
3	BlowOff Yard Hydrant	1	EA	\$ 5,800.00	\$ 5,800.00
4	Connect to Existing, Wellhead	1	EA	\$ 5,500.00	\$ 5,500.00
5	Live Tap and Valve, 8"	1	EA	\$ 9,500.00	\$ 8,500.00

6	Site Restoration	1	LS	\$ 15,000.00	\$ 15,000.00
ESTIMATED CONSTRUCTION COST					\$304,485.47
TOTAL ESTIMATED CONSTRUCTION COST (INCLUDING 10% CONTIGENCY)					\$334,934.00
TOTAL ENGINEERING, CONSTRUCTION ADMINISTRATION AND INSPECTION COSTS (FOR TRANSMISSION LINE ONLY)					\$29,500.00
TOTAL PROJECT COST					\$364,434.00

- These costs are based on preliminary information. The actual site conditions may result in variations of unit prices or items.
- These costs is based upon April 24, 2019 Site visit. Test well and site clearing has been completed. Any outstanding trees are to be removed by the Township and not included in this estimate.
- Costs for financing, land, right-of-way, easement acquisition, and permit fees are not included in this cost estimate. Cost for MDEQ permits are included in this estimate
- Costs related to construction of Well #11 including pump / motor, internal piping, fittings, and testing were previously bid and awarded to Peerless Midwest dated July 2017. Peerless Midwest has confirmed and committed to maintain same pricing for 2019



43.565424, -84.751656 (Option 1)

200 foot radius

100 foot radius

525' from Well #7

500' East, 165' North of Well #7

Well #7

Well #10

Well #1

5228

Palter Creek / Potter Brodeur Drain

**Charter Township of Union
Isabella County, Michigan
Proposed Well Location Area**

NORTH

Map Date: February 27, 2019

REQUEST FOR TOWNSHIP BOARD ACTION

To: Mark Stuhldreher - Township Manager **DATE:** June 18, 2019
FROM: Kim Smith – Public Service Director **DATE FOR BOARD CONSIDERATION:** June 26, 2019
ACTION REQUESTED: Request the Township Board of Trustees adopt Ordinance Number 2019-04, an Ordinance amending various provisions of the Charter Township of Union Water Service, Use and Rate Ordinance Number 1987-9 (as amended).

Current Action Emergency _____

Funds Budgeted: If Yes _____ Account # _____ No _____ N/A

Finance Approval _____

BACKGROUND INFORMATION

The Charter Township of Union Water Service, Use and Rate Ordinance 1987-9 (as amended) provides for the operation and maintenance of the entire Union Township water supply system, establishes charges and rates for water service and use regulations, and provides penalties for violations of provisions.

The proposed amendments clarify language regarding water hook-up fees, system benefit fees paid at time of connection and/or addition/expansion of a connected premises. The Articles and Sections being amended are as follows:

- Article X, Section 1 (A) – Hook-up Fee
- Article X, Section 1 (B) – System Benefit Fee

In addition, the amendments clarify language regarding quarterly consumption charges for new and existing customers, as well as any additions/expansions of connected premises. The Article and Sections being amended are as follows:

- Article X, Section 1 (D) (1) – Consumption Charge

Ordinance Number 2019-04, was introduced at the June 12, 2019, Board of Trustees meeting, the introduction was published in the Morning Sun.

SCOPE OF SERVICES

Adoption of Water Ordinance Number 2019-04

JUSTIFICATION

Ordinance Number 2019-04 provides clarity of hook-up fees and quarterly consumption charges, resulting in better customer understanding of fees and improved customer service.

PROJECT IMPROVEMENTS

Board of Trustees goals addressed by this agreement (From Policy 1.0: Global End).

- 1. Community well-being and common good**

COSTS

NA

PROJECT TIME TABLE

The Ordinance shall take effect the day immediately following publication.

RESOLUTION

Adoption of Ordinance Number 2019-04, which is an Ordinance to amend various provisions of the Charter Township of Union Water Service, Use and Rate Ordinance Number 1987-9 (as amended).

Resolved by _____ Seconded by _____

Yes:
No:
Absent:

**Charter Township of Union
Isabella County, Michigan
Ordinance Number 2019 - 04**

An ordinance to amend various provisions of the Charter Township of Union Water Service, Use and Rate Ordinance, Ordinance No. 1987-9, as amended.

THE CHARTER TOWNSHIP OF UNION HEREBY ORDAINS:

Section I - Amendments

The Charter Township of Union Water Service, Use and Rate Ordinance, Ordinance No. 1987-9, as amended, is hereby amended as follows:

Article X, Section 1(A) - Hook-up Fee.

The first full sentence of Article X, Section 1(A) - Hook-up Fee is deleted in its entirety and replaced with the following:

All premises within the Township shall pay a hook-up fee at the time of connection to the system and at the time any addition to or expansion of any then-connected premises becomes connected to the system in accordance with the following:

Article X, Section 1(B) - System benefit fee.

The second paragraph of Article X, Section 1(B) System benefit fee is deleted in its entirety and replaced with the following:

There shall be paid a system benefit fee, in such amount as determined from time to time by the Township Board, for each single-family unit on behalf of each premises which after the effective date of this Ordinance connects to the water system.

The fourth paragraph of Article X, Section 1(B) System benefit fee is deleted in its entirety and replaced with the following:

The system benefit fee for other than a single-family residence shall be an amount as determined by multiplying the single-family residence system benefit fee by the factor provided for in Table I set forth in Section 7 of Article X of the Charter Township of Union Ordinance Number 1990-1 [112.1007] up to a maximum of ten single-family residential equivalents. The minimum fee for any premises shall not be less than the fee specified for a single-family residence. For any premises other than a single family residence, a system benefit fee shall also be due upon the occurrence of either of the following events: (1) construction of any expansion of or addition to the premises or (2) any subsequent change in the character or use of the premises which places all or part of the premises in a different ratio-factor

category. The system benefit fee in the event of an addition to or change in character of use of a premises other than single-family residence shall be calculated using the factor provided for in Table 1 of Section 7, Article X of the Charter Township of Union Ordinance Number 1990-1 [112.1007] which corresponds with the nature of the use of the addition or subsequent change in usage. The system benefit fee for an addition to or change in character of use of a premises shall be payable, in cash, at the occurrence of the earliest of the following: (1) the time a construction permit or other permit is issued by the Township for such addition or expansion, (2) the time such addition or expansion becomes connected to the system if no permit is issued or required, or (3) the time the change in usage occurs.

The fifth paragraph of Article X, Section 1(B) System benefit fee is deleted in its entirety and replaced with the following:

The system benefit fee shall be paid at the time of application for a permit to connect to the system or at the time any addition to or expansion of a then-connected premises becomes connected to the system except premises which are in existence prior to construction of the water line being tapped by the premises, which premises may pay the system benefit fee in five equal annual installments. All unpaid installments shall bear interest payable annually on each installment due date at eight percent per annum commencing from the date of application for a hook-up permit, with the first payment due September 1 following the date of application and subsequent installments due each September 1 thereafter until all installments are paid. Any installment not paid by the due date will be considered delinquent. The delinquent system benefit fees shall be transferred to the Township tax roll and shall constitute a lien upon the respective parcels of land. Such lien shall be of the same character and effect as the lien created for general township taxes and shall include accrued interest and penalties.

The sixth paragraph of Article X, Section 1(B) System benefit fee is deleted in its entirety.

The seventh paragraph of Article X, Section 1(B) System benefit fee is deleted in its entirety and replaced with the following:

For all premises for which the system benefit fee is being paid over time, subsequent changes in the character or use or type of occupancy of any premises or any addition to or expansion of any premises, including destruction, removal, or abandonment of any or all improvements thereon, shall not abate the obligation to continue the payment of the system benefit fee as herein set forth applicable to said premises in the amount and for the period herein provided. If, during the pendency of payment of a system benefit fee over time, subsequent changes place the entirety of said premises in a higher ratio-factor category set forth in Section 7 of Article X of the Charter Township of Union Ordinance Number 1990-1 [112.1007], the Township Board may, in its discretion, increase the number of units assigned to said premises and thereupon any additional charges occasioned by such increase

shall be payable, in cash, at the time a construction permit or other permit is issued by the Township for such changes, or at the time such changes occur if no permit is issued or required.

Article X, Section 1(D)(1) - Consumption charge.

The paragraph constituting Article X, Section 1(D)(1) is deleted in its entirety and replaced with the following:

Effective January 1, 2019, there will be a minimum charge of \$52.00 per quarter, per residential equivalent, which includes the first 15,000 gallons, per residential equivalent, of consumption per quarter. Additional usage above 15,000 gallons, per residential equivalent, per quarter, shall be charged at the rate of \$2.10 per 1,000 gallons. All single-family residences will be assigned one equivalent. Residential equivalents for all other users shall be determined by water usage. Those accounts without history shall have their initial residential equivalents determined by reference to Table 1 set forth in Section 7 of Article X of the Charter Township of Union Ordinance No. 1990-1 until usage is calculated after six months' usage. That usage will be determined by reading the water meter. The reading will then be divided by six, averaging the monthly usage and dividing that figure by 5,000 gallons to arrive at the residential equivalents. All residential equivalents for all users other than single-family residences shall be re-evaluated on an annual basis by reading the water meter. The reading will then be divided by 12 averaging the monthly usage and dividing the figure by 5,000 gallons to arrive at the residential equivalent for the next 12-month period. For purposes of determining initial residential equivalents under this section, any portion of a premises which constitutes an addition to or expansion of said premises shall have residential equivalents for said addition or expansion calculated using the factor in Table 1 set forth in Section 7 of Article X of the Charter Township of Union Ordinance No. 1990-1 which corresponds to the nature of the use of the addition or expansion.

Section II - Title

This Ordinance shall be known and cited as the Charter Township of Union Ordinance Number 2019-04, Ordinance Amending the Charter Township of Union Water Service, Use and Rate Ordinance.

Section III - Severability

In the event any one or more sections, provisions, phrases, or words of this Ordinance shall be found to be invalid by a court of competent jurisdiction, such holding shall not affect the validity or the enforceability of the remaining sections, provisions, phrases, or words of this Ordinance.

Section IV - Effective Date

This Ordinance shall take effect the day immediately following publication. All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

CERTIFICATION OF ADOPTION AND PUBLICATION OF TOWNSHIP ORDINANCE

I, Lisa Cody, the duly elected Clerk of the Charter Township of Union, Isabella County, Michigan, hereby certify that the foregoing Ordinance was adopted at a meeting of the Charter Township of Union Board of Trustees on the _____ day of _____, 2019, at which the following named members of the Charter Township of Union Board of Trustees were present and voted in person as follows:

(a) Voting in favor of the Ordinance:

(b) Voting against adoption of the Ordinance:

I further certify that this Ordinance was published in _____, a newspaper of general circulation within the Charter Township of Union on the _____ day of _____, 2019 and that proof of same is filed in the Charter Township of Union Ordinance Book.

Certification Date: _____, 2019

Lisa Cody, Clerk

To: Mark Stuhldreher - Township Manager

DATE: June 18, 2019

FROM: Kim Smith – Public Service Director

DATE FOR BOARD CONSIDERATION: June 26, 2019

ACTION REQUESTED: The Township Board of Trustees is requested to adopt Ordinance Number 2019-05 which is an Ordinance to amend various provisions of the Charter Township of Union Sewer Rate and Mandatory Connection Ordinance Number 1979-4, as amended.

Current Action Emergency _____

Funds Budgeted: If Yes _____ Account # _____ No _____ N/A

Finance Approval _____

BACKGROUND INFORMATION

The Charter Township of Union Sewer Rate and Mandatory Connection Ordinance Number 1979-4 establishes rates and charges and provides for the enforcement for the use and service of the sanitary sewer system.

The amendments being introduced to the Charter Township of Union Sewer Mandatory Connection Ordinance clarify language regarding sanitary sewer connection charges paid at time of connection and at any time any addition to or expansion of any already connected premises becomes connect to the system. The Section being amended is as follows:

Section 7, Paragraph A

Ordinance Number 2019-05, was introduced at the June 12, 2019, Board of Trustees meeting, the introduction was published in the Morning Sun. One change to the first sentence of Section 7, Paragraph A has been made since introduction of the ordinance. The change to this sentence is highlighted in yellow below.

Applications for sewer service shall be filed with the Township Clerk **or his or her designee** upon a form to be supplied by the Township.

SCOPE OF SERVICES

Adoption of Sanitary Sewer Ordinance Number 2019-05 with one change

JUSTIFICATION

Ordinance Number 2019-05 provides clarity of connection fee charges for sanitary sewer at the time of connection to the system and at the time any addition to or expansion of any then connected premises becomes connected to the system.

PROJECT IMPROVEMENTS

Board of Trustees goals addressed by this agreement (From Policy 1.0: Global End).

1. Community well-being and common good

COSTS

NA

PROJECT TIME TABLE

The Ordinance shall take effect the day immediately following publication.

RESOLUTION

Adoption of Ordinance Number 2019-05 which is an Ordinance to amend various provisions of the Charter Township of Union Sewer Rate and Mandatory Connection Ordinance Number 1979-4, as amended.

Resolved by _____ Seconded by _____

Yes:
No:
Absent:

**Charter Township of Union
Isabella County, Michigan
Ordinance Number 2019 - 05**

An ordinance to amend Section 7 of the Charter Township of Union Sewer Rate and Mandatory Connection Ordinance, Ordinance No. 1979-4, as amended.

THE CHARTER TOWNSHIP OF UNION HEREBY ORDAINS:

Section I - Amendments

The Charter Township of Union Sewer Rate and Mandatory Connection Ordinance, Ordinance No. 1979-4, as amended, is hereby amended to delete Section 7, Paragraph A in its entirety and replace it with the following:

Applications for sewer service shall be filed with the Township Clerk **or his or her designee** upon a form to be supplied by the Township. The application shall state the name of the applicant and the premises to be served. All applications filed after the commencement of the operation of the system shall be accompanied by a fee—on a residential equivalent basis—in such amount as determined from time to time by the Township Board as a connection charge. For any premises other than a single family residence, a connection charge shall also be due upon the occurrence of either of the following events: (1) construction of any expansion of or addition to the premises or (2) any subsequent change in the character or use of the premises which places all or part of the premises in a different ratio-factor category. The connection charge in the event of an addition to or change in character of use of a premises other than single-family residence shall be calculated using the factor provided for in Table 1 of Section 7, Article X of the Charter Township of Union Ordinance Number 1990-1 [112.1007] which corresponds with the nature of the use of the addition or subsequent change in usage. The connection charge for an addition to or change in character of use of a premises shall be payable, in cash, at the occurrence of the earliest of the following: (1) the time a construction permit or other permit is issued by the Township for such addition or expansion, (2) the time such addition or expansion becomes connected to the system if no permit is issued or required, or (3) the time the change in usage occurs.

Section II - Title

This Ordinance shall be known and cited as the Charter Township of Union Ordinance Number 2019-05, Ordinance Amending the Charter Township of Union Sewer Rate and Mandatory Connection Ordinance.

Section III - Severability

In the event any one or more sections, provisions, phrases, or words of this Ordinance shall be found to be invalid by a court of competent jurisdiction, such holding shall not affect the validity or the enforceability of the remaining sections, provisions, phrases, or words of this Ordinance.

Section IV - Effective Date

This Ordinance shall take effect the day immediately following publication. All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

CERTIFICATION OF ADOPTION AND PUBLICATION OF TOWNSHIP ORDINANCE

I, Lisa Cody, the duly elected Clerk of the Charter Township of Union, Isabella County, Michigan, hereby certify that the foregoing Ordinance was adopted at a meeting of the Charter Township of Union Board of Trustees on the _____ day of _____, 2019, at which the following named members of the Charter Township of Union Board of Trustees were present and voted in person as follows:

(a) Voting in favor of the Ordinance:

(b) Voting against adoption of the Ordinance:

I further certify that this Ordinance was published in _____, a newspaper of general circulation within the Charter Township of Union on the _____ day of _____, 2019 and that proof of same is filed in the Charter Township of Union Ordinance Book.

Certification Date: _____, 2019

Lisa Cody, Clerk

Charter Township of Union



To: Township Board of Trustees
From: Mark Stuhldreher, Township Manager
Subject: Policy Governance Review
Date: June 20, 2019

Policy Review: 2.5.10 Cash Flow Adequacy
Type of Review: Internal
Review Interval: Monthly
Review Month: June 2019

Policy Wording

The Township shall not fail to maintain an adequate level of cash flow.

Manager Interpretation

Manager interprets this policy to indicate that cash availability for the major funds (not including debt retirement) should not 1) fall below the thresholds defined in Governance Policy 2.4.3 and; 2) other considerations as defined below:

- **General Fund** – 4 months of budgeted expenditures for the current fiscal year
- **Fire Fund** – 3 of the quarterly contract payments due to the City of Mt. Pleasant for fire protection services
- **East and West DDA Funds** – 2 months of normal operational expenditures
- **Water and Sewer Funds** – 2 months of budgeted expenses for the current fiscal year

Justification of Reasonability of Interpretation

Cash flow for this report is defined as “liquid cash reserves held by a bank or credit union that can be accessed and utilized on an as needed basis.”

The Township Manager has determined that 4 months of cash reserves is needed for the General Fund because revenues are not collected evenly throughout the fiscal year. Property taxes, which account of 23% of General Fund revenue are not collected until December, January, and February of each year and State Revenue Sharing, which account for 56% of General Fund Revenue are only collected semimonthly.

For the Fire Fund, quarterly contract payments are due in July, October, and January; all of which are due prior to the collection of the property taxes, which begin of December of each year.

For the East and West DDA districts 2 months of cash reserves are needed to meet the normal operations of the East and West Districts. Project costs are not included because they are not reoccurring and will be based on the tax capture amount that will be deposited in the respective funds during the second quarter of each year.

For the Water and Sewer Funds 2 months of cash reserves are needed because 80% of the payments for the water and sewer bills are received in the first two months of each quarter. Bills are sent in January, April, July, and October of each year.

Data

Data used for this report is gathered from the BS&A General Ledger system – report- “Cash Summary by Account for the Charter Township of Union” and is based on the reconciled cash at the end of the previous month.

<u>Fund</u>	<u>Current cash</u>	<u>Amount required for compliance</u>	<u>Compliant?</u>
GF Total	\$ 4,293,046		
GF Unassigned	\$ 4,293,046	\$748,389	Yes
Fire Fund	\$ 1,407,967		
(Fire Truck Reserve)	\$ (447,573)		
FF Unassigned	\$ 960,394	\$548,550	Yes
EDDA	\$ 1,083,548		
Projects	\$ (270,260)		
EDDA Unassigned	\$ 813,288	\$ 28,403	Yes
WDDA	\$ 1,019,807		
Projects	\$ (570,000)		
WDDA Unassigned	\$ 449,807	\$ 7,745	Yes
Sewer Fund	\$ 3,884,096		
2011 Bond Reserve	\$ (45,000)		
2011 Bond RRI Reserve	\$ (91,845)		
2013 Bond Reserve	\$ (120,000)		
2013 Bond RRI Reserve	\$ (21,042)		
Sewer Fund Net	\$ 3,606,209	\$442,700	Yes
Water Fund	\$ 3,267,685	\$203,522	Yes

Compliance

All funds are in compliance with policy.

Evaluator: _____

Executive Limitations Evaluation Form

A tool to be used by individual board members as they evaluate the internal monitoring reports designated in Board-Management Delegation.

Policy being monitored:
(Insert actual policy)

1. Was this report submitted when due? Yes No
2. Did the report lay out the Manager's interpretation or an operational definition of the policy? Yes No
3. Is the interpretation justified or is proof provided to explain why the interpretation is reasonable? Yes No
4. Was I convinced that the interpretation is justified and reasonable? Yes No
5. Did the interpretation address all aspects of the policy? Yes No
6. Does the data show compliance with the Manager's interpretation of our policy? Yes No

Comments regarding further policy development:

1. Is there any area regarding this policy that you worry about that is not clearly addressed in existing policy?
What is the value that drives your worry?

2. What policy language would you like to see incorporated to address your worry?

Charter Township of Union



To: Township Board of Trustees
From: Mark Stuhldreher, Township Manager
Subject: Policy Governance Review
Date: June 20, 2019

Policy Review: 2.7 End Focus of Grant and Contracts
Type of Review: Internal
Review Interval: Annual
Review Month: June 2019

Policy Wording

The Township Manager may not enter into any grants and contract arrangements that fail to emphasize primarily the production of Ends and, secondarily, the avoidance of unacceptable means.

Further, without limiting the foregoing, the Manager shall not:

- 2.7.1 Submit a Saginaw Chippewa Indian Tribe 2% grant application without prior approval by the Board of Trustees (section 2.7.1 added June 2019)

Manager Interpretation

Township Manager interprets this policy to indicate that all grant applications and contractual arrangements must be in executed with the goal of contributing to the accomplishment of and be consistent with the approved Global End Policies 1.0 through 1.6. Additionally, at it relates to 2% grant applications, this sub-policy is interpreted to indicate competing interests are to be weighed and the Board is to approve all grant applications prior to submission.

Justification for reasonability

The Township Manager has determined that the interpretation is reasonable based on the wording reflected in the policy itself.

Data

1. Participation Agreements for various road project contracts signed with Isabella County Road Commission.
2. Successfully applied for fire protection reimbursement grant from the State of Michigan receiving \$6,100 for fire protection on State owned buildings in the Township
3. Successfully applied to the State of Michigan for tax increment finance reimbursement for lost personal property tax revenues for the East DDA and received \$55,500 for the East DDA
4. In partnership with the Mt Pleasant successfully applied for and was awarded a Department of Treasury Competitive Grant Assistance Program grant in the amount of \$29,350 to assist with the Joint Water Study

5. Labor contracts negotiated and approved by the Board in 2018 focused on cost sharing of health care benefits and maintaining pay levels in support of recruitment and retention efforts
6. New fire service agreement with Mt Pleasant was approved with a focus on service delivery objectives, formally recognizing the position of a Union Township Fire Chief and the appointment of a Fire Code Official
7. Successfully applied for and was awarded a MDEQ Wellhead Protection Grant in the amount of \$13,750
8. Executed an Antenna Lease Amendment with ATT increasing monthly rent and annual escalation percentages along with improvements to language regarding access and damage repairs to the water tower
9. Contracted with Plummer's Environmental in the amount of \$25,510.00, for repair of four sanitary sewer main leaks and the cleaning and televising of 385 feet of 18" sanitary sewer on River Road
10. Contracted with Greenscape General Contracting in the amount of \$68,500 for televising and repair of 39,000 feet of sanitary sewer lines throughout the Township
11. Contracted with JLZ Contracting LLC in the amount of \$37,000 for the Sanitary Sewer Pump Station #4 Bypass Manhole Rehabilitation project

Compliance: In compliance with policy as indicated.

Evaluator: _____

Executive Limitations Evaluation Form

A tool to be used by individual board members as they evaluate the internal monitoring reports designated in Board-Management Delegation.

Policy being monitored:
(Insert actual policy)

1. Was this report submitted when due? Yes No
2. Did the report lay out the Manager's interpretation or an operational definition of the policy? Yes No
3. Is the interpretation justified or is proof provided to explain why the interpretation is reasonable? Yes No
4. Was I convinced that the interpretation is justified and reasonable? Yes No
5. Did the interpretation address all aspects of the policy? Yes No
6. Does the data show compliance with the Manager's interpretation of our policy? Yes No

Comments regarding further policy development:

1. Is there any area regarding this policy that you worry about that is not clearly addressed in existing policy?
What is the value that drives your worry?

2. What policy language would you like to see incorporated to address your worry?



REQUEST FOR TOWNSHIP BOARD ACTION

To: Board of Trustees	DATE: June 20, 2019
FROM: Mark Stuhldreher, Township Manager	DATE FOR BOARD CONSIDERATION: 06/26/2019
ACTION REQUESTED: Board of Trustees annual review of Board Governance Policy No. 3.5 – Board Commission and Community Linkage	

Current Action Emergency

Funds Budgeted: If Yes Account # _____ No N/A

Finance Approval _____ *MDS*

BACKGROUND INFORMATION

The Board Governance Policy was originally adopted in 2010 with subsequent amendments in 2013, 2014, 2018 and 2019. The purpose of the Policy is to assist the Board of Trustees in the execution of their duties as a policy making body. Through the articulation of various policies within the totality of the document, the Board of Trustees is encouraged to focus on long term organizational outputs and the discharge of its fiduciary responsibilities.

Certain policies, such as Policy 3.5 (Board Commission and Community Linkage), are to be reviewed and monitored for compliance on an annual basis. Following the policy is an evaluation section that can be used for the review/discussion of Policy No. 3.5.

Board Policy 3.5 – Board Commission and Community Linkage

The Policy states: “Annually, the Board will host the Planning Commission, Sustainability Committee, Zoning Board of Appeals, the Union Township Economic Development Authority and the Mid-Michigan Development Corporation to share Ends and promote alignment within the community.” Due to the length, the entire policy is attached.

SCOPE OF SERVICES

Not applicable

JUSTIFICATION

An annual review of Board Policies allows for the Board of Trustees to monitor itself regarding adherence to policies that apply to the Board of Trustees.

PROJECT IMPROVEMENTS

The following Board of Trustees goals are addressed in this review (From Policy 1.0: Global End)

- Community well-being and common good
- Prosperity through economic diversity, cultural diversity , and social diversity
- Safety
- Health

- Natural environment
- Commerce

COSTS

Not applicable

PROJECT TIME TABLE

Not applicable

RESOLUTION

Not applicable

Board Compliance Monitoring Tool

Policy: 3.5 Board Commission and Community Linkage
Type: Direct Inspection
Occurrence: Annual
Date: June 2019

Policy:

Annually, the Board will host the Planning Commission, Sustainability Committee, Zoning Board of Appeals, the Union Township Economic Development Authority and the Mid-Michigan Development Corporation to share Ends and promote alignment within the community.

Accordingly,

- 3.5.1 To keep the Board fully informed, the Planning Commission, Sustainability Committee, Zoning Board of Appeals, the Union Township Economic Development Authority and the Mid-Michigan Development Corporation will be invited to give an annual report to the Board in the third quarter of each year.
- 3.5.2 To promote regional linkage, the Township Board will attempt to meet periodically with bordering municipalities, county authorities, and the Saginaw Chippewa Nation.
- 3.5.3 The Township Board will name a liaison to each of these groups to establish and maintain communication with these authorities and report back to the Township Board.

Use this evaluation form for discussion at the Board of Trustees Meeting on June 26th, 2019. Review all sections of the policy listed and evaluate our compliance with policy.

1. Indicate item by item if you believe the Board is in strict compliance with the policy as stated.
2. If you indicated that the Board is not in strict compliance with the policy as stated, please indicate what you notice that gives evidence that the Board is not in compliance?
3. How do you think the Board could improve the process to be in full compliance?
4. What does the Board need to learn or discuss in order to live by the policy more completely?

REQUEST FOR TOWNSHIP BOARD ACTION

To: Board of Trustees **DATE:** June 20, 2019
FROM: Mark Stuhldreher, Township Manager **DATE FOR BOARD CONSIDERATION:** 06/26/2019
ACTION REQUESTED: Board of Trustees annual review of Board Governance Policy No. 3.6 – Supervisor’s Role in the Board’s Process

Current Action Emergency

Funds Budgeted: If Yes Account # _____ No N/A

Finance Approval _____ *MDS*

BACKGROUND INFORMATION

The Board Governance Policy was originally adopted in 2010 with subsequent amendments in 2013, 2014, 2018 and 2019. The purpose of the Policy is to assist the Board of Trustees in the execution of their duties as a policy making body. Through the articulation of various policies within the totality of the document, the Board of Trustees is encouraged to focus on long term organizational outputs and the discharge of its fiduciary responsibilities.

Certain policies, such as Policy 3.6 (Supervisor’s Role in the Board’s Process), are to be reviewed and monitored for compliance on an annual basis.

Board Policy 3.6 – Supervisor’s Role in the Board’s Process

The Policy states: “The Supervisor assures the integrity of the board's process and, secondarily, occasionally represents the board to outside parties.” Due to the length, the entire policy is attached. Following the policy is an evaluation section that can be used for the review/discussion of Policy No. 3.6.

SCOPE OF SERVICES

Not applicable

JUSTIFICATION

An annual review of Board Policies allows for the Board of Trustees to monitor itself regarding adherence to policies that apply to the Board of Trustees.

PROJECT IMPROVEMENTS

The following Board of Trustees goals are addressed in this review (From Policy 1.0: Global End)

- Community well-being and common good
- Prosperity through economic diversity, cultural diversity, and social diversity
- Safety
- Health
- Natural environment
- Commerce

COSTS

Not applicable

PROJECT TIME TABLE

Not applicable

RESOLUTION

Not applicable

Policy: 3.6 Supervisor's Role in the Board's Process
Type: Direct Inspection
Occurrence: Annual
Date: June 2019

Policy:

The Supervisor assures the integrity of the board's process and, secondarily, occasionally represents the board to outside parties.

Accordingly:

- 3.6.1 The job result of the Supervisor is that the board abides consistently with its own rules and those legitimately imposed upon it from outside the organization.
 - 3.6.1.1 Meeting discussion content will be only those issues which, according to board policy, clearly belong to the board to decide, not the Township Manager.
 - 3.6.1.2 Deliberation will be fair, open, and thorough, but also timely, orderly, and kept to the point.
- 3.6.2 The authority of the Supervisor consists in making decisions that fall within topics covered by board policies on Governance Process and Board-Management Linkage, with the exception of (a) employment or termination of the Township Manager and (b) where the board specifically delegates portions of this authority to others. The Supervisor is authorized to use any reasonable interpretation of the provisions in these policies.
 - 3.6.2.1 The Supervisor is empowered to chair board meetings with all the commonly accepted power of that position (e.g., ruling, recognizing).
 - 3.6.2.2 The Supervisor has no authority to make decisions about policies created by the board within Ends and Executive Limitations policy areas. Therefore, the Supervisor has no authority to supervise or direct the Township Manager.
 - 3.6.2.3 The Supervisor may represent the board to outside parties in announcing board-stated positions and in stating chair decisions and interpretations within the area delegated to her or him.
 - 3.6.2.4 The Supervisor may delegate this authority but remains accountable for its use.

Use this evaluation form for discussion at the Board of Trustees Meeting on June 26th, 2019.

Review all sections of the policy listed and evaluate our compliance with policy.

1. Indicate item by item if you believe the Board is in strict compliance with the policy as stated?
2. If you indicated that the Board is not in strict compliance with the policy as stated, please indicate what you notice that gives evidence that we are not in compliance?
3. How do you think we could improve our process to be in full compliance?
4. What do we need to learn or discuss in order to live by our policies more completely?